



Planning, Development & Extension Education Committee
Agenda
Kenosha County Center
Wednesday, April 13, 2016

NOTE: UNDER THE KENOSHA COUNTY BOARD RULES OF PROCEDURE ANY REPORT, RESOLUTION, ORDINANCE OR MOTION APPEARING ON THIS AGENDA MAY BE AMENDED, WITHDRAWN, REMOVED FROM THE TABLE, RECONSIDERED OR RESCINDED IN WHOLE OR IN PART AT THIS OR AT FUTURE MEETINGS. NOTICE OF SUCH MOTIONS TO RECONSIDER OR RESCIND AT FUTURE MEETINGS SHALL BE GIVEN IN ACCORDANCE WITH SECTION 2 C OF THE COUNTY BOARD RULES. FURTHERMORE, ANY MATTER DEEMED BY A MAJORITY OF THE BOARD TO BE GERMANE TO AN AGENDA ITEM MAY BE DISCUSSED AND ACTED UPON DURING THE COURSE OF THIS MEETING AND ANY NEW MATTER NOT GERMANE TO AN AGENDA ITEM MAY BE REFERRED TO THE PROPER COMMITTEE. ANY PERSON WHO DESIRES THE PRIVILEGE OF THE FLOOR PRIOR TO AN AGENDA ITEM BEING DISCUSSED SHOULD REQUEST A COUNTY BOARD SUPERVISOR TO CALL SUCH REQUEST TO THE ATTENTION OF THE BOARD CHAIRMAN

Notice is hereby given that a meeting will be held by the Kenosha County Planning, Development & Extension Education Committee on **Wednesday, April 13, 2016 at 6:00 p.m. in Conference Room B followed by a public hearing at 7:00 p.m. in the Public Hearing Room** at the Kenosha County Center, 19600 75th Street, Bristol, Wisconsin on the following requests:

6:00 p.m. UW-Extension Items - Conference Room B

1. **CERTIFICATION OF COMPLIANCE WITH WISCONSIN OPEN MEETINGS LAW**
2. **FEATURE PROGRAM: "WILMOT-TREVOR ELEMENTARY STEM AFTERSCHOOL PROGRAM"**
3. **YOUTH IN GOVERNANCE REVIEW**
4. **UW-EXTENSION EDUCATOR/PROGRAM UPDATES**
5. **UW-EXTENSION DIRECTOR UPDATES**

7:00 p.m. - LAND USE ITEMS HEARINGS - KCC PUBLIC HEARING ROOM

6. **HOLY CROSS PARISH (OWNER), BILL MELLEEN (AGENT) - REZONING - SALEM**

Holy Cross Parish, 18700 116th St., Bristol, WI 53104 (Owner), Bill Mellen, 26500 122nd St., Trevor, WI 53179 (Agent) requesting a rezoning from I-1 Institutional Dist. & PR-1 Institutional Dist. to I-1 Institutional Dist. on Tax Parcel #67-4-120-304-0630 located in the SE ¼ of Section 30, T1N, R20E, Town of Salem.

Documents:

[0630 - REZO SUBMITTED APPLICATION.PDF](#)
[EXHIBIT MAP.PDF](#)

7. **HOLY CROSS PARISH (OWNER), BILL MELLEEN (AGENT) - CONDITIONAL USE**

PERMIT – SALEM

Holy Cross Parish, 18700 116th St., Bristol, WI 53104 (Owner), Bill Mellen, 26500 122nd St., Trevor, WI 53179 (Agent) requesting a conditional use permit to allow an expansion of an existing cemetery in the I-1 Institutional Dist. on Tax Parcel #67-4-120-304-0630 located in the SE ¼ of Section 30, T1N, R20E, Town of Salem.

Documents:

[0630 - CUP SUBMITTED APPLICATION.PDF](#)
[EXHIBIT MAP.PDF](#)

8. HOLY CROSS PARISH (OWNER), BILL MELLEN (AGENT) – CEMETERY PLAT ADDITION – SALEM

Holy Cross Parish, 18700 116th St., Bristol, WI 53104 (Owner), Bill Mellen, 26500 122nd St., Trevor, WI 53179 (Agent) requesting a cemetery plat addition in the I-1 Institutional Dist. on Tax Parcel #67-4-120-304-0630 located in the SE ¼ of Section 30, T1N, R20E, Town of Salem.

Documents:

[EXHIBIT MAP.PDF](#)

9. AMTUL LLC (OWNER), DAN MCMAHON (AGENT) – CONDITIONAL USE PERMIT – SALEM

AMTUL LLC, PO Box 26, Trevor, WI 53179 (Owner), Dan McMahon, Interstate Pump & Tank, 901 Niagra St., Waukesha, WI 53186 (Agent) requesting a conditional use permit to allow an expansion of an existing gasoline service station in the B-2 Community Business Dist. on Tax Parcel #66-4-120-273-0810 located in the SW ¼ of Section 27, T1N, R20E, Town of Salem.

Documents:

[0810 - CUP SUBMITTED APPLICATION.PDF](#)
[EXHIBIT MAP.PDF](#)

10. REQUEST FOR AN AMENDMENT OF FINAL PLAT OF WOODHAVEN MEADOWS SUBDIVISION - WOODHAVEN MEADOWS LLC – SALEM

Request for Amendment of Final Plat of Woodhaven Meadows Subdivision, Kevin J. Deaton, Woodhaven Meadows, LLC, 1202 60th St., PO Box 10, Kenosha, WI 53141 (Agent) to reduce the rear yard setback to 25' from 50' on lots 1 – 45 (Tax Parcels #65-4-120-134-0207 through #65-4-120-134-0209, #65-4-120-134-0222 through #65-4-120-134-0245, #66-4-120-241-0201 through #66-4-120-241-0206 and #66-4-120-241-0210 through #66-4-120-241-0221). This subdivision is located in the SE 1/4 of Section 13 and NE 1/4 of Section 24, T1N, R20E, Town of Salem.

Documents:

[0207 - AFFC SUBMITTED APPLICATION.PDF](#)
[EXHIBIT MAP.PDF](#)

11. STEPHEN C. MILLS, MILLS ENTERPRISES LLC, & CRAIG T. & LAURA M. BAUMGARDNER (OWNERS), DAN SZCZAP (AGENT) – REZONING – SALEM

Stephen C. Mills, 4015 80th St., Kenosha WI 53142, Mills Enterprises LLC, 4015 80th St., Kenosha, WI 53142 and Craig T. & Laura M. Baumgardner, 37015 N. Fernview Ln., Lake Villa, IL 60046 (Owners), Dan Szczap, Bear Development LLC, 4011 80th St., Kenosha WI 53142 (Agent), requesting a rezoning from C-2 Upland Resource Conservancy Dist. and C-1 Lowland Resource Conservancy Dist. with a Planned Unit Development Overlay (PUD) to C-2 Upland Resource Conservancy Dist. and C-1 Lowland Resource Conservancy Dist. with a Planned Unit Development Overlay (PUD) on Tax Parcels #65-4-120-044-0101 through 65-4-120-044-0111 located in the SE 1/4 of Section 4, T1N, R20E, Town of Salem.

Documents:

[0101 - REZO SUBMITTED APPLICATION.PDF](#)
[EXHIBIT MAP.PDF](#)

12. STEPHEN C. MILLS, MILLS ENTERPRISES LLC, & CRAIG T. & LAURA M. BAUMGARDNER (OWNERS), DAN SZCZAP (AGENT) – PRELIMINARY SUBDIVISION PLAT – SALEM

Preliminary Plat of The Reserve Subdivision, Stephen C. Mills, 4015 80th St., Kenosha WI 53142, Mills Enterprises LLC, 4015 80th St., Kenosha, WI 53142 and Craig T. & Laura M. Baumgardner, 37015 N. Fernview Ln., Lake Villa, IL 60046 (Owners), Dan Szczap, Bear Development LLC, 4011 80th St., Kenosha WI 53142 (Agent), on Tax Parcels #65-4-120-044-0101 through 65-4-120-044-0111 located in the SE 1/4 of Section 4, T1N, R20E, Town of Salem.

Documents:

[0101 -PLAT SUBMITTED APPLICATION.PDF](#)
[EXHIBIT MAP.PDF](#)

13. KENOSHA COUNTY FAIR ASSOCIATION INC. (OWNER), NICHOLAS MULVANEY (AGENT) – CONDITIONAL USE PERMIT – SALEM

Kenosha County Fair Association Inc., PO Box 96, Wilmot, WI 53192-0096 (Owner), Nicholas Mulvaney, Wilmot Mountain Flea Market, Inc., 7525 W. Isham Ave., Chicago, IL 60631 (Agent), requesting a conditional use permit to allow a three-year flea market use in the PR-1 Park-Recreational Dist. on Tax Parcel #67-4-120-303-1261 located in the W 1/2 of Section 30, T1N, R20E, Town of Salem.

Documents:

[1261 - CUP SUBMITTED APPLICATION.PDF](#)
[EXHIBIT MAP.PDF](#)

14. TABLED NORTHERN ALPINE GROUP LLC (OWNER), MARY OCHOA-PETERSEN (AGENT) – REZONING – WHEATLAND

Tabled Request of Northern Alpine Group LLC, 31401 60th St., Salem, WI 53168 (Owner), Mary Ochoa-Petersen, 31401 60th St., Salem, WI 53168 (Agent) requesting a rezoning from R-2 Suburban Single-Family Residential Dist. to A-2 General Agricultural Dist. on Tax Parcels #95-4-119-011-0102 & 95-4-119-011-0104 located in the NE ¼ of Section 1, T1N, R19E, Town of

Wheatland.

Documents:

[0104 - REZO SUBMITTED APPLICATION.PDF](#)
[EXHIBIT MAP.PDF](#)

15. TABLED ACTION 50 LLC (OWNER) – MARK MERKLING (AGENT) – COMPREHENSIVE PLAN AMENDMENT - WHEATLAND

Tabled Request of Public Hearing on Proposed Comprehensive Plan Amendment, Action 50 LLC, 420 W. Westleigh Rd., Lake Forest, IL 60045 (Owner), Mark Merkling, 5675 392nd Ave., Burlington, WI 53105 (Agent), requests an amendment to the Adopted Land Use Plan map for Kenosha County: 2035 (map 65 of the comprehensive plan) from "Suburban-Density Residential" & "Non-Farmed Wetland" to "Commercial" and "Non-Farmed Wetland" on Tax Parcel #95-4-219-314-0640 located in Section 31, T2N, R19E, Town of Wheatland.

Documents:

[0640 - CPA SUBMITTED APPLICATION.PDF](#)
[EXHIBIT MAP CPA.PDF](#)

16. TABLED ACTION 50 LLC (OWNER) – MARK MERKLING (AGENT) – REZONING – WHEATLAND

Tabled Request of Action 50 LLC, 420 W. Westleigh Rd., Lake Forest, IL 60045 (Owner), Mark Merkling, 5675 392nd Ave., Burlington, WI 53105 (Agent), requesting a rezoning from A-2 General Agricultural Dist. to B-3 Highway Business Dist. & C-1 Lowland Resource Conservancy Dist. on Tax Parcel #95-4-219-314-0640 located in SE ¼ Section 31, T2N, R19E, Town of Wheatland.

Documents:

[0640 - REZO SUBMITTED APPLICATION.PDF](#)
[EXHIBIT MAP REZO.PDF](#)

17. TABLED ACTION 50 LLC (OWNER) – MARK MERKLING (AGENT) – CONDITIONAL USE PERMIT – WHEATLAND

Tabled Request of Action 50 LLC, 420 W. Westleigh Rd., Lake Forest, IL 60045 (Owner), Mark Merkling, 5675 392nd Ave., Burlington, WI 53105 (Agent), requesting a Conditional Use Permit for Recreational Vehicle (RV) sales, service and outdoor display & storage in the B-3 Highway Business Dist. on Tax Parcel #95-4-219-314-0640 located in SE ¼ Section 31, T2N, R19E, Town of Wheatland.

Documents:

[0640 - CUP SUBMITTED APPLICATION.PDF](#)
[EXHIBIT MAP CUP.PDF](#)

18. REVIEW AND POSSIBLE APPROVAL - RESOLUTION TO APPROVE THE APPOINTMENT OF CHRISTOPHER BROWN TO THE KENOSHA COUNTY ZONING BOARD OF ADJUSTMENTS

19. REVIEW AND POSSIBLE APPROVAL – RESOLUTION TO APPROVE THE APPOINTMENT OF DAVID N. DEVITO TO THE KENOSHA COUNTY ZONING BOARD OF

ADJUSTMENTS

20. **REVIEW AND POSSIBLE APPROVAL – RESOLUTION TO APPROVE THE APPOINTMENT OF ROBERT W. MERRY TO THE LAND INFORMATION COUNCIL**
21. **CERTIFIED SURVEYS**
22. **APPROVAL OF MINUTES**
23. **CITIZENS COMMENTS**
24. **ANY OTHER BUSINESS ALLOWED BY LAW**
25. **ADJOURNMENT**

NOTICE TO PETITIONERS

The petitioners: Holy Cross Parish, (Owner) - Bill Mellen (Agent) - AMTUL LLC, (Owner) - Kevin J. Deaton, Woodhaven Meadows Subdivision, LLC (Agent) - Stephen C. Mills, Craig T. & Laura M. Baumgardner (Owners) - Dan Szczap, Bear Development (Agent) - Kenosha County Fair Association (Owner) - Nicholas Mulvaney, Wilmot Mountain Flea Market, Inc. (Agent) - Northern Alpine Group LLC (Owner) - Mary Ochoa-Petersen (Agent) - Action 50 LLC (Owner) – Mark Merklng (Agent).

NOTICE TO TOWNS

The Towns of Salem and Wheatland are asked to be represented at the hearing on Wednesday, April 13, 2016 at 7:00 pm at the Kenosha County Center Public Hearing Room, 19600 75th Street, Bristol, Wisconsin. You are requested to either attend or send in your recommendation to the committee.



COUNTY OF KENOSHA

Department of Planning and Development



REZONING PROCEDURES



KENOSHA COUNTY

DEPARTMENT OF PLANNING
AND DEVELOPMENT



COUNTY OF KENOSHA

Department of Planning & Development

KENOSHA COUNTY REZONING PROCEDURES

1. Contact the Department of Planning & Development and check with staff to determine if your proposed zoning change meets the requirements for the Kenosha County General Zoning and Shoreland/Floodplain Zoning Ordinance and the Kenosha County Subdivision Control Ordinance. Note: If the proposed rezoning is part of a proposed land division see the Certified Survey Map Information and Procedures.

2. Contact the Department of Planning & Development and schedule a pre-conference meeting, which is required for all rezoning requests.

Meeting Date: _____

3. Contact your local Town to determine if your rezoning petition requires preliminary approval.

4. Complete and submit the Kenosha County Rezoning Application by the filing deadline (see Planning, Development & Extension Education Committee Schedule handout).

6. Submit a copy of the date-stamped application to your local township for placement on the agenda of the Town Planning Commission and Town Board, which recommends action to the County Planning, Development & Extension Education Committee. Keep a copy for your records.

7. Attend the Town Planning Commission and the Town Board meetings. **NOTE:** You must attend or the Town will not be able to act on your request.

Town Planning Commission meeting date (tentative): _____

Town Board meeting date (tentative): _____

8. Attend the Planning, Development & Extension Education Committee public hearing. **NOTE:** You must attend or the Planning, Development & Extension Education Committee will not be able to act on your request. At this meeting you will be asked to brief the Committee on your request.

Kenosha County Planning, Development & Extension Education Committee meeting date: _____
(tentative)

9. Planning, Development & Extension Education Committee recommends either approval and adopts a resolution or denial and transmits recommendation to the Kenosha County Board of Supervisors. No action is required from the applicant at this time.

If approved, County Board of Supervisors either approves or denies the amendment.

If denied by the Kenosha County Board of Supervisors you have thirty (30) days to file an appeal with circuit court if you so choose.

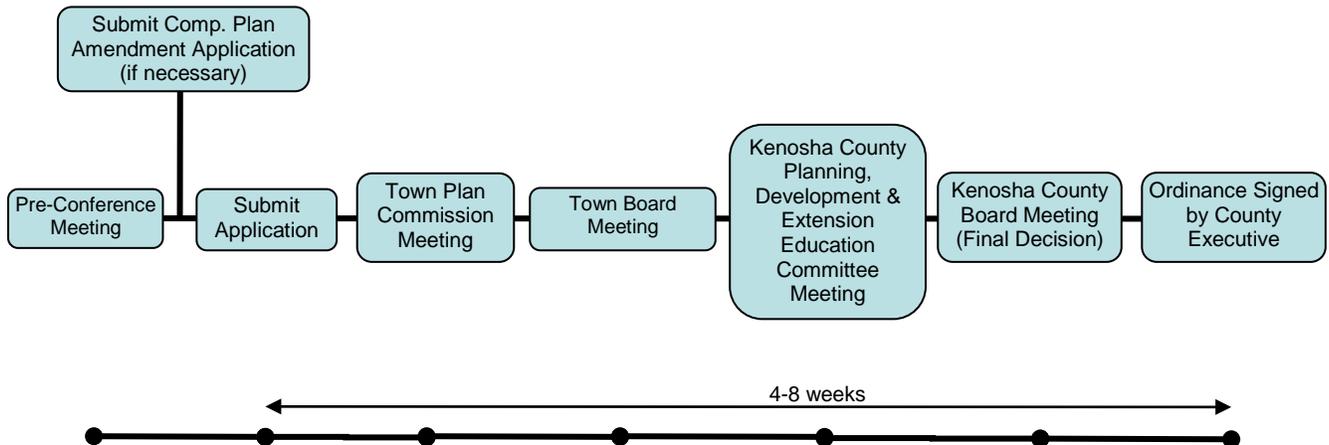
10. After the County Executive has signed the official ordinance document amending the Kenosha County Zoning Map, you will be notified of your approval in writing. Upon notification of approval, you may proceed with recording any necessary deeds.

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center
 Department of Planning & Development
 19600 - 75th Street, Suite 185-3
 Bristol, Wisconsin 53104-9772

Division of Planning & Development (including Sanitation & Land Conservation).....	857-1895
Facsimile #.....	857-1920
Public Works Division of Highways	857-1870
Administration Building	
Division of Land Information.....	653-2622
Brighton, Town of	878-2218
Paris, Town of	859-3006
Randall, Town of.....	877-2165
Salem, Town of	843-2313
Utility District.....	862-2371
Somers Town of	859-2822
Wheatland, Town of.....	537-4340
Wisconsin Department of Natural Resources - Sturtevant Office	884-2300
Wisconsin Department of Transportation - Waukesha Office	548-8722

Rezoning Procedure Timeline



For Reference Purposes



COUNTY OF KENOSHA

Department of Planning and Development

JAN 19 2015

REZONING APPLICATION

RECEIVED

JAN 19 2015

(a) Property Owner Name
Kenosha County
Deputy County Clerk
Holy Cross Parish

Kenosha County
Planning and Development

Print Name: _____ Signature: _____

Mailing Address: 18700 116th Street

City: Bristol State: WI Zip: 53104

Phone Number: _____ E-mail (optional): _____

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status **signed** by the legal property owner **must** be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: Bill Mellen Signature: [Handwritten Signature]

Business Name: _____

Mailing Address: 26500 122nd Street

City: Trevor State: WI Zip: 53179

Phone Number: 847-561-7213 E-mail (optional): septicdoc@sbcglobal.net

(c) Tax key number(s) of property to be rezoned:

67-4-120-304-0630

Property Address of property to be rezoned:

30005 Wilmot Road

(d) Proposed use (a statement of the type, extent, area, etc. of any development project):

To expand existing cemteery plat.

REZONING APPLICATION

(e) Check the box next to any and all of the **existing** zoning district classifications present on the subject property:

A-1 Agricultural Preservation District	TCO Town Center Overlay District
A-2 General Agricultural District	B-1 Neighborhood Business District
A-3 Agricultural Related Manufacturing, Warehousing and Marketing District	B-2 Community Business District
A-4 Agricultural Land Holding District	B-3 Highway Business District
AE-1 Agricultural Equestrian Cluster Single-Family District	B-4 Planned Business District
R-1 Rural Residential District	B-5 Wholesale Trade and Warehousing District
R-2 Suburban Single-Family Residential District	BP-1 Business Park District
R-3 Urban Single-Family Residential District	B-94 Interstate Highway 94 Special Use Business District
R-4 Urban Single-Family Residential District	M-1 Limited Manufacturing District
R-5 Urban Single-Family Residential District	M-2 Heavy Manufacturing District
R-6 Urban Single-Family Residential District	M-3 Mineral Extraction District
R-7 Suburban Two-Family and Three-Family Residential District	M-4 Sanitary Landfill and Hazardous Waste Disposal District
R-8 Urban Two-Family Residential District	I-1 Institutional District
R-9 Multiple-Family Residential District	PR-1 Park-Recreational District
R-10 Multiple-Family Residential District	C-1 Lowland Resource Conservancy District
R-11 Multiple-Family Residential District	C-2 Upland Resource Conservancy District
R-12 Mobile Home/Manufactured Home Park-Subdivision District	FPO Floodplain Overlay District
HO Historical Overlay District	FWO Camp Lake/Center Lake Floodway Overlay District
PUD Planned Unit Development Overlay District	FFO Camp Lake/Center Lake Floodplain Fringe Overlay District
AO Airport Overlay District	
RC Rural Cluster Development Overlay District	

(f) Check the box next to any and all of the **proposed** zoning district classifications proposed for the subject property:

A-1 Agricultural Preservation District	TCO Town Center Overlay District
A-2 General Agricultural District	B-1 Neighborhood Business District
A-3 Agricultural Related Manufacturing, Warehousing and Marketing District	B-2 Community Business District
A-4 Agricultural Land Holding District	B-3 Highway Business District
AE-1 Agricultural Equestrian Cluster Single-Family District	B-4 Planned Business District
R-1 Rural Residential District	B-5 Wholesale Trade and Warehousing District
R-2 Suburban Single-Family Residential District	BP-1 Business Park District
R-3 Urban Single-Family Residential District	B-94 Interstate Highway 94 Special Use Business District
R-4 Urban Single-Family Residential District	M-1 Limited Manufacturing District
R-5 Urban Single-Family Residential District	M-2 Heavy Manufacturing District
R-6 Urban Single-Family Residential District	M-3 Mineral Extraction District
R-7 Suburban Two-Family and Three-Family Residential District	M-4 Sanitary Landfill and Hazardous Waste Disposal District
R-8 Urban Two-Family Residential District	I-1 Institutional District
R-9 Multiple-Family Residential District	PR-1 Park-Recreational District
R-10 Multiple-Family Residential District	C-1 Lowland Resource Conservancy District
R-11 Multiple-Family Residential District	C-2 Upland Resource Conservancy District
R-12 Mobile Home/Manufactured Home Park-Subdivision District	FPO Floodplain Overlay District
HO Historical Overlay District	FWO Camp Lake/Center Lake Floodway Overlay District
PUD Planned Unit Development Overlay District	FFO Camp Lake/Center Lake Floodplain Fringe Overlay District
AO Airport Overlay District	
RC Rural Cluster Development Overlay District	

REZONING APPLICATION

(g) Your request must be consistent with the existing planned land use category as shown on Map 65 of the adopted [“Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035”](#).

The existing planned land use category for the subject property is:

Farmland Protection	Governmental and Institutional
General Agricultural and Open Land	Park and Recreational
Rural-Density Residential	Street and Highway Right-of-Way
Agricultural and Rural Density Residential	Other Transportation, Communication, and Utility
Suburban-Density Residential	Extractive
Medium-Density Residential	Landfill
High-Density Residential	Primary Environmental Corridor
Mixed Use	Secondary Environmental Corridor
Commercial	Isolated Natural Resource Area
Office/Professional Services	Other Conservancy Land to be Preserved
Industrial	Nonfarmed Wetland
Business/Industrial Park	Surface Water

(h) Attach a plot plan or survey plat of property to be rezoned (showing location, dimensions, zoning of adjacent properties, existing uses and buildings of adjacent properties, floodways and floodplains)—drawn to scale.

(i) The Kenosha County Department of Planning and Development may ask for additional information.

(j) The name of the County Supervisor of the district wherein the property is located ([District Map](#)):

Supervisory District Number: _____ County Board Supervisor: _____

(k) The fee specified in Section 12.05-8 of this ordinance.

Request for Rezoning Petition\$750.00

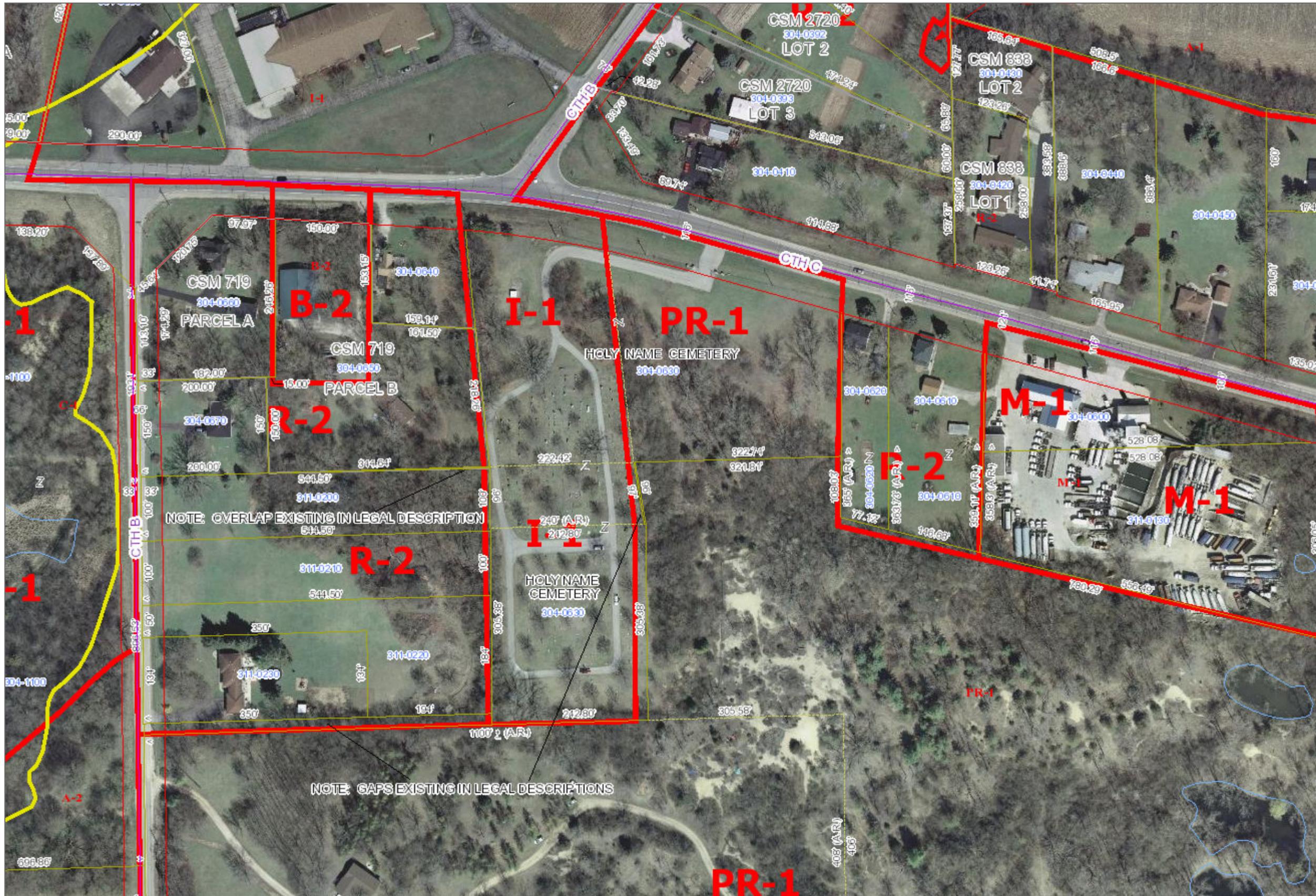
(For other fees see the [Fee Schedule](#))

Note: Agricultural Use Conversion Charge

The use value assessment system values agricultural land based on the income that would be generated from its rental for agricultural use rather than its fair market value. When a person converts agricultural land to a non-agricultural use (e.g. residential or commercial development), that person may owe a conversion charge. To obtain more information about the use value law or conversion charge, contact the Wisconsin Department of Revenue’s Equalization Section at 608-266-2149 or visit <http://www.revenue.wi.gov/faqs/slf/useassmt.html>.

Note that the act of rezoning property from an agricultural zoning district to a non-agricultural zoning district does not necessarily trigger the agricultural use conversion charge. It is when the use of the property changes from agricultural that the conversion charge is assessed.

67-4-120-304-0630 - Current Zoning Classifications

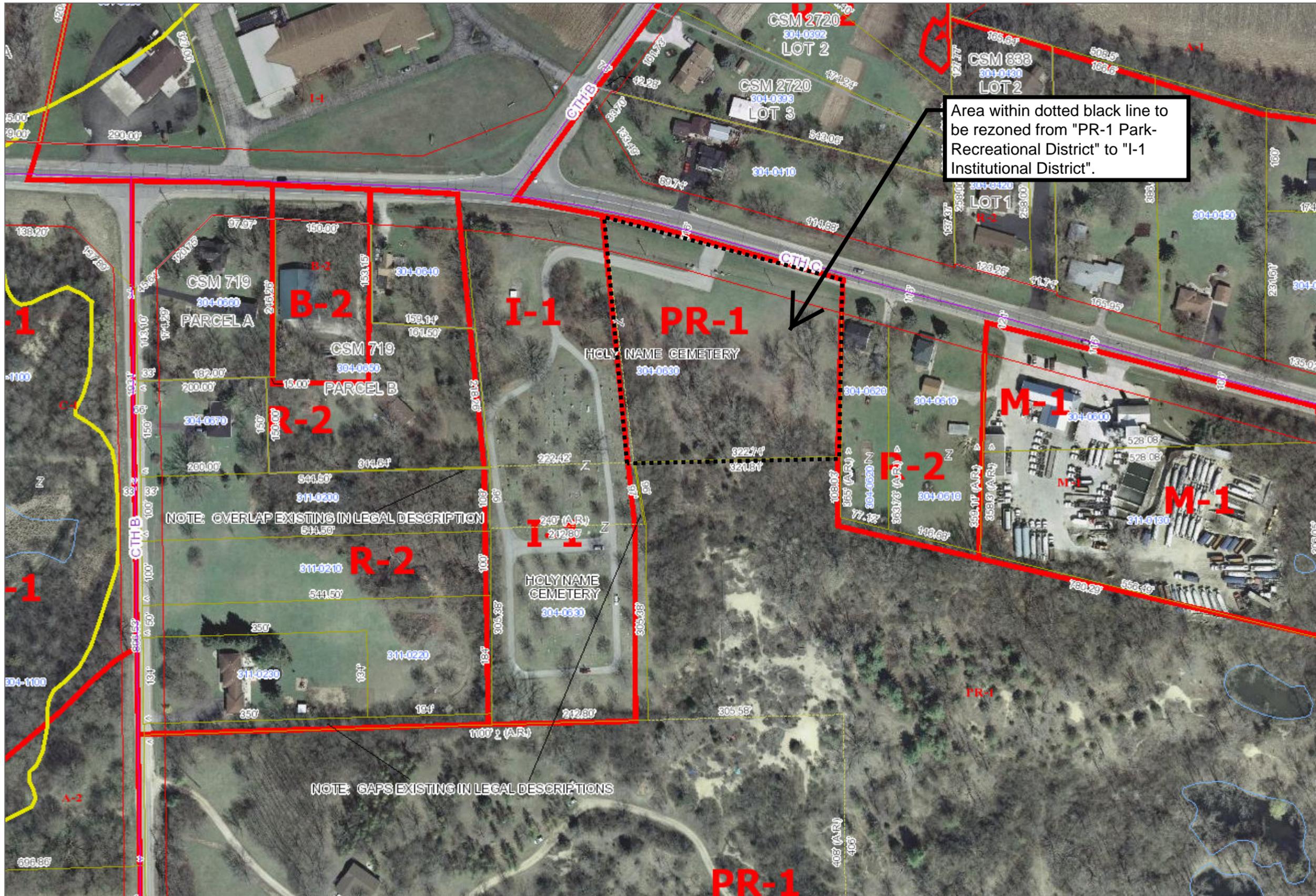


- Legend
- Street Centerlines
 - Right-of-Ways
 - Water Features
 - Parcels
 - Certified Survey Maps
 - Condominiums
 - Subdivisions
 - Municipal Boundaries
 - Shoreland Areas
 - Zoning (Unincorporated Areas)

DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

Date Printed: 4/13/2015

67-4-120-304-0630 - Proposed Zoning Classifications



Area within dotted black line to be rezoned from "PR-1 Park-Recreational District" to "I-1 Institutional District".

Legend

- Street Centerlines
- Right-of-Ways
- Water Features
- Parcels
- Certified Survey Maps
- Condominiums
- Subdivisions
- Municipal Boundaries
- Shoreland Areas
- Zoning (Unincorporated Areas)

NOTE: OVERLAP EXISTING IN LEGAL DESCRIPTION

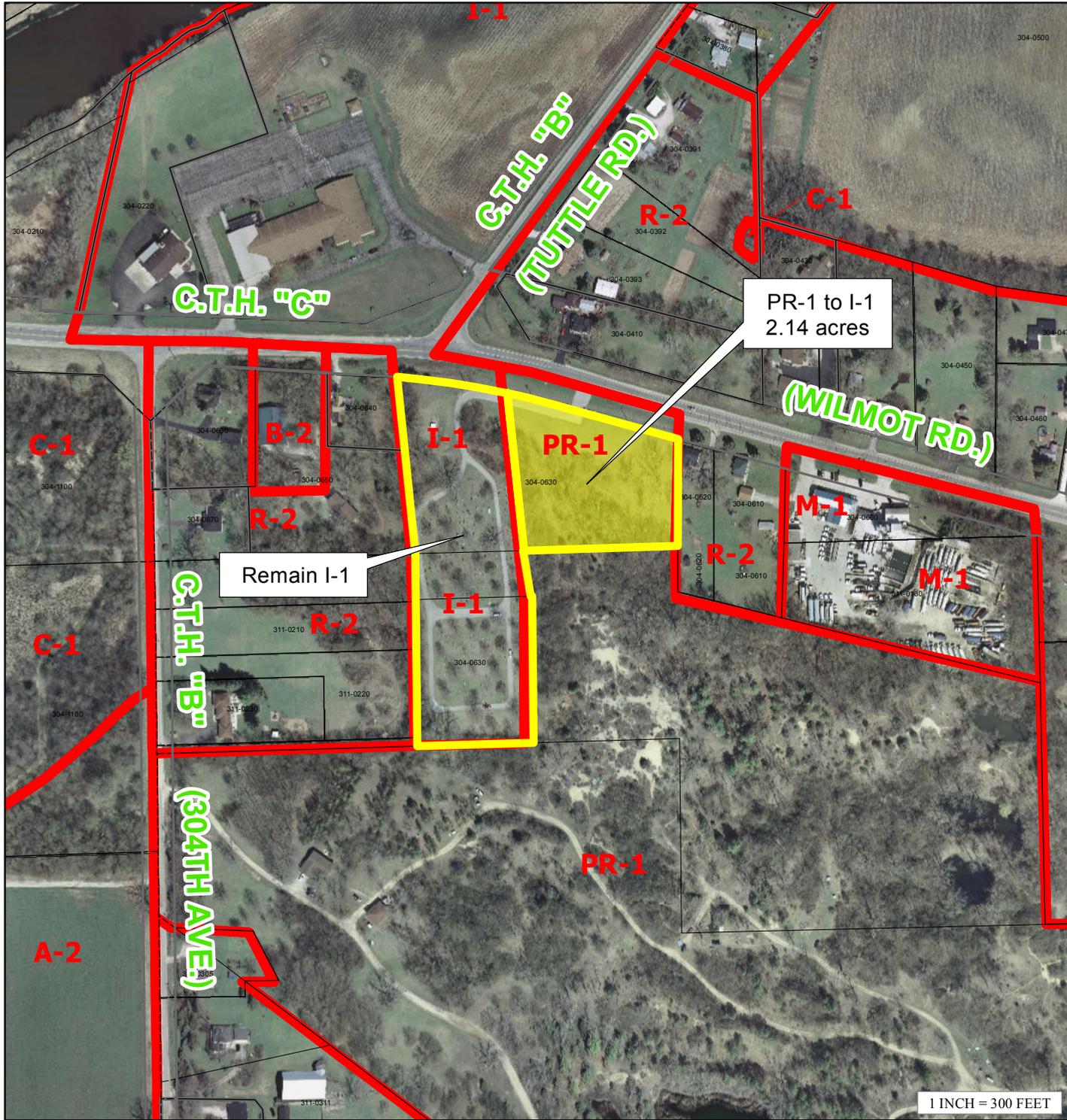
NOTE: GAPS EXISTING IN LEGAL DESCRIPTIONS



1 inch = 150 feet

DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

Date Printed: 4/13/2015



REZONING SITE MAP

PETITIONER(S):
 Holy Cross Parish (Owner),
 Bill Mellen (Agent)

LOCATION: SE 1/4 of Section 30,
 Town of Salem

TAX PARCEL(S): #67-4-120-304-0630

REQUEST:
 Requesting a rezoning from I-1 Institutional District & PR-1 Institutional District to I-1 Institutional District.



1 INCH = 300 FEET



COUNTY OF KENOSHA

Department of Planning and Development

CONDITIONAL USE PERMIT PROCEDURES



KENOSHA COUNTY

DEPARTMENT OF PLANNING
AND DEVELOPMENT



COUNTY OF KENOSHA

Department of Planning and Development

CONDITIONAL USE PERMIT PROCEDURES

1. Contact the Department of Planning and Development and check with staff to determine if your proposed use is a permitted use, an accessory use or a conditional use. If it is a conditional use, then a conditional use permit must be applied for and received prior to occupying or using the site for that use. Note: If the proposed conditional use is part of a proposed land division see the Certified Survey Map Information and Procedures. If the proposed conditional use is part of a proposed rezoning petition see the Rezoning Application Form.

2. Contact the Department of Planning and Development and schedule a pre-conference meeting, which is required for all conditional use permit requests.

Meeting Date: _____

3. Complete and submit the Kenosha County Conditional Use Permit Application by the filing deadline (see Planning, Development & Extension Education Committee Schedule handout).

4. Submit a copy of the date-stamped application to your local township for placement on the agenda of the Town Planning Commission and Town Board, which recommends action to the County Planning, Development & Extension Education Committee. Keep a copy for your records.

5. Attend the Town Planning Commission and the Town Board meetings. **NOTE:** You must attend or the Town will not be able to act on your request.

Town Planning Commission meeting date (tentative): _____

Town Board meeting date (tentative): _____

6. Attend the Planning, Development & Extension Education Committee public hearing. **NOTE:** You must attend or the Planning, Development & Extension Education Committee will not be able to act on your request. At this meeting you will be asked to brief the Committee on your request.

Kenosha County Planning, Development & Extension Education Committee meeting date: _____
(tentative)

7. If denied by the Kenosha County Planning, Development & Extension Education Committee you have thirty (30) days to file an appeal with circuit court.

8. If approved you may proceed with obtaining site plan approval (site plan layout, stormwater, landscaping, lighting, parking/paving etc...).

9. Apply for and obtain any necessary zoning permit(s) for construction (i.e. new buildings, building additions, signage, fencing, etc...) with the Kenosha County Department of Planning and Development.

10. Apply for any obtain any necessary building permit(s) for construction (i.e. new buildings, building additions, signage, fencing, etc...) with you respective township.

11. Complete any obligations for foundation survey, waiver of liability of foundation survey, stormwater as-built requirement and/or certificate of occupancy.

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center
 Department of Planning & Development
 19600 - 75th Street, Post Office Box 520
 Bristol, Wisconsin 53104-0520

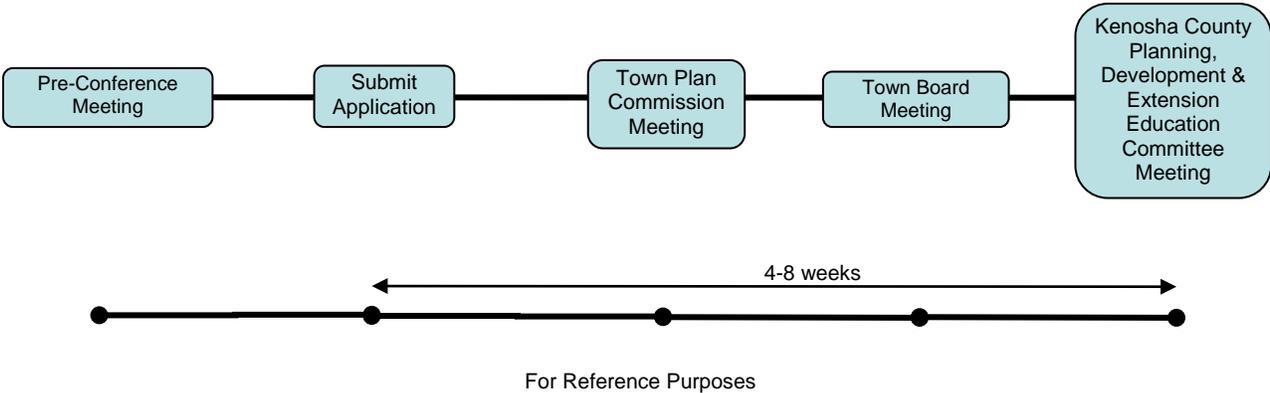
Division of County Development (including Sanitation & Land Conservation) **857-1895**
 Facsimile # 857-1920

Public Works Division of Highways 857-1870

Administration Building
 Division of Land Information 653-2622

Brighton, Town of 878-2218
 Paris, Town of 859-3006
 Randall, Town of 877-2165
 Salem, Town of 843-2313
 Utility District 862-2371
 Somers Town of 859-2822
 Wheatland, Town of 537-4340
 Wisconsin Department of Natural Resources - Sturtevant Office 884-2300
 Wisconsin Department of Transportation - Waukesha Office 548-8722

Conditional Use Permit Timeline





COUNTY OF KENOSHA

Department of Planning and Development

RECEIVED

JAN 19 2015

Kenosha County
Deputy County Clerk

CONDITIONAL USE PERMIT APPLICATION

RECEIVED

JAN 19 2016

Kenosha County
Planning and Development

(a) Property Owner's Name:

Holy Cross Parish

Print Name: _____ Signature: _____

Mailing Address: 18700 116th Street

City: Bristol State: WI Zip: 53104

Phone Number: _____ E-mail (optional): _____

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status signed by the legal property owner must be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: Bill Mellen Signature: *Bill Mellen*

Business Name: _____

Mailing Address: 26500 122nd Street

City: Trevor State: WI Zip: 53179

Phone Number: 847-561-7213 E-mail (optional): septicdoc@sbcglobal.net

(c) Architect's Name (if applicable):

Print Name: _____ Signature: _____

Business Name: _____

Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone Number: _____ E-mail (optional): _____

(d) Engineer's Name (if applicable):

Print Name: _____ Signature: _____

Business Name: _____

Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone Number: _____ E-mail (optional): _____

CONDITIONAL USE PERMIT APPLICATION

(e) Tax key number(s) of subject site:

Address of the subject site:

(f) Plan of Operation (or attach separate plan of operation)

Type of structure:

Proposed operation or use of the structure or site:

Number of employees (by shift): _____

Hours of Operation: _____

Any outdoor entertainment? If so, please explain: _____

Any outdoor storage? If so, please explain: _____

Zoning district of the property: _____

(g) Attach a plat of survey prepared by a land surveyor registered by the State of Wisconsin or site plan drawn to scale and approved by the Department of Planning and Development showing all of the information required under section 12.05-1(h)3 for a zoning permit. In addition, the plat of survey or site plan layout shall show the location, elevation and use of any abutting lands and the location and foundation elevations of structures within 50 feet of the subject site; soil mapping unit lines; ordinary high water mark, historic high water marks and floodlands on or within 50 feet of the subject premises, and existing and proposed landscaping.

CONDITIONAL USE PERMIT APPLICATION

For conditional use permit applications that are made within shoreland and floodland areas, such description shall also include information that is necessary for the County Planning, Development & Extension Education Committee to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human, animal or aquatic life. This additional information may include plans, certified by a registered professional engineer or land surveyor, showing existing and proposed elevations or contours of the ground; fill or storage elevation; basement and first floor elevations of structures; size, location, and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets water supply and sanitary facilities; aerial photographs, and photographs showing existing surrounding land uses and vegetation upstream and downstream; soil types and any other pertinent information required by either the Planning, Development & Extension Education Committee or the Office of Planning and Zoning Administration:

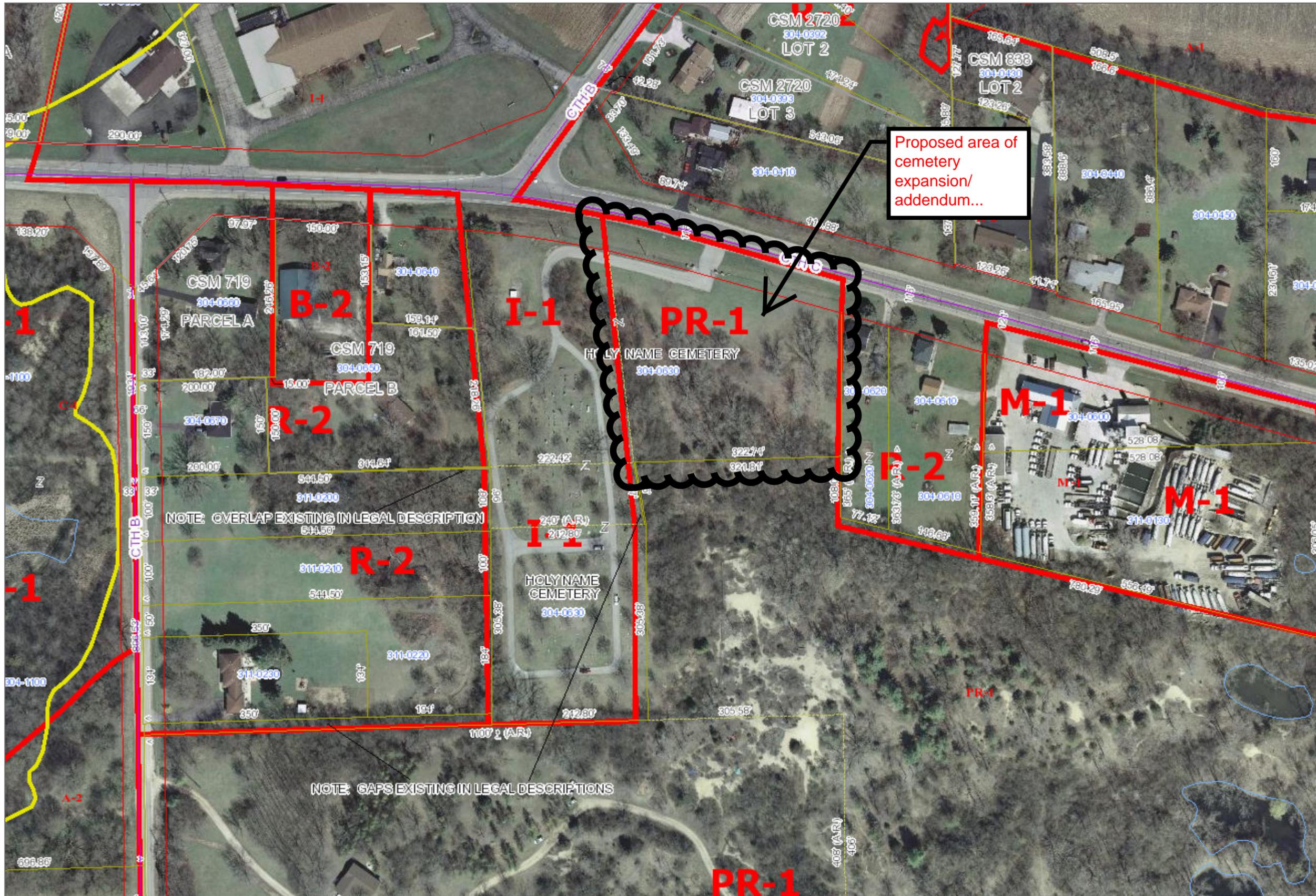
(h) The Kenosha County Department of Planning and Development may ask for additional information.

(i) The fee specified in Section 12.05-8 of this ordinance.

Request for Conditional Use Permit \$750.00

(For other fees see the Fee Schedule)

67-4-120-304-0630 - Current Zoning Classifications



- Legend
- Street Centerlines
 - Right-of-Ways
 - Water Features
 - Parcels
 - Certified Survey Maps
 - Condominiums
 - Subdivisions
 - Municipal Boundaries
 - Shoreland Areas
 - Zoning (Unincorporated Areas)



1 inch = 150 feet

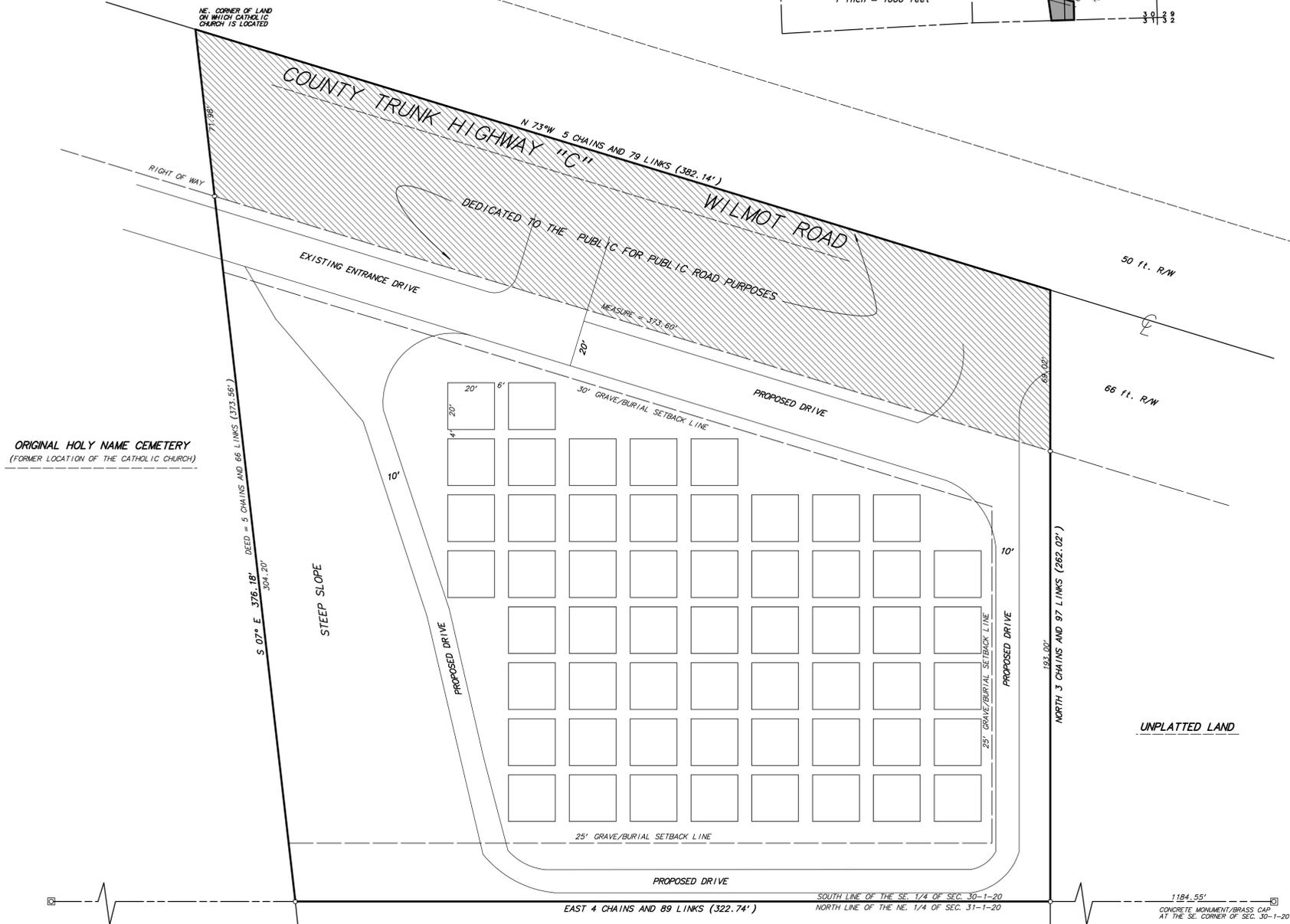
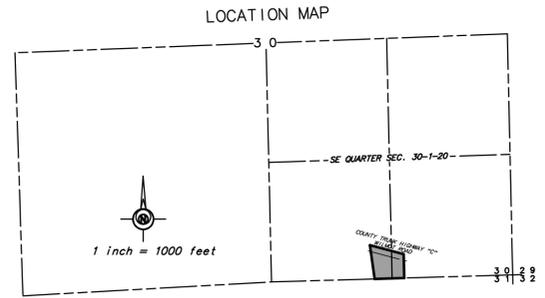
DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

Date Printed: 4/13/2015

FIFTH ADDITION TO HOLY NAME CEMETERY
 PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 1 NORTH, RANGE 20 EAST OF THE 4TH PRINCIPAL MERIDIAN, TOWNSHIP OF SALEM, COUNTY OF KENOSHA AND STATE OF WISCONSIN

PREPARED FOR: HOLY NAME CEMETERY
 C/O BILL MELLETT
 HOLY CROSS PARISH
 18700-118TH ST.
 BRISTOL, WI. 53104

PREPARED BY: AMBIT LAND SURVEYING
 8120-312TH AVE.
 WHEATLAND, WI. 53105



ORIGINAL HOLY NAME CEMETERY
 (FORMER LOCATION OF THE CATHOLIC CHURCH)

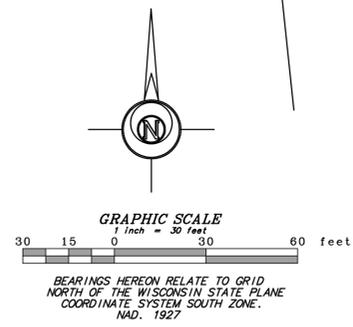
UNPLATTED LAND

FIRST ADDITION TO HOLY NAME CEMETERY

UNPLATTED LAND

- LEGEND:**
- Denotes Iron Pipe Set—1" Diameter x 18" Length Not Less Than 1.13 Pounds Per Linear Foot
 - Denotes Iron Pipe Found—1" Diameter
 - Denotes Iron Bar Found—3/4" Diameter
 - Denotes Concrete Monument Found

GROSS AREA = 108,188 sq. ft. 2.48 ACRES
NET AREA = 83,248 sq. ft. 1.91 ACRES
 ZONED PR-1 PARK-RECREATIONAL DISTRICT
 PER WISCONSIN D.N.R. WETLAND INVENTORY MAPPING AND KENOSHA COUNTY INTERACTIVE MAPPING WETLANDS DO NOT APPEAR ON PARCEL



F. PUBLIC DISTRICTS

12.24-1 I-1 INSTITUTIONAL DISTRICT

(a) Primary Purpose and Characteristics

The I-1 Institutional District is intended to provide for areas which are under private or public ownership and where the uses in those areas for public purposes or institutional purposes, whether public or private, are anticipated to be permanent. All new structures and uses and changes or additions to existing structures and uses shall be in compliance with the site plan review requirements of this ordinance (See Section 12.08-2). (8/6/02)

It is recognized that it is neither possible nor practicable to list all of the principal and accessory uses that are compatible with those listed below and therefore it is intended that the following list of principal and accessory uses only be illustrative. Any individual aggrieved by a failure to list a particular principal or accessory use in this subsection shall have the right to file a petition with the Kenosha County Department of Planning and Development pursuant to section 12.35 of this ordinance for a determination as to the similarity of the intended use with the principal and accessory uses listed below.

(b) Principal Uses

- 1 Churches
- 2 Hospitals, sanitariums, nursing homes and clinics
- 3 Libraries, museums and art galleries
- 4 Private youth development organizations such as YMCA, Junior Achievement, Boys Club of America and Campfire Girls
- 5 Public or private schools, colleges and universities
- 6 Public administrative offices and public service buildings including fire and police stations, community centers, public emergency shelters
- 7 Public utility offices

(c) Accessory Uses

- 1 Garages for storage of vehicles used in conjunction with the operation of the principal use.
- 2 Residential quarters for caretakers or clergy
- 3 Service buildings and facilities normally accessory to the principal uses

(d) **Conditional Uses (see also section 12.29-8)** (8/6/02)

- 1 Airport, heliport pads, aircraft hangars for storage and equipment maintenance; aircraft sales and service.
- 2 Bus terminals
- 3 **Cemeteries**
- 4 Penal, reform, disciplinary and mental institutions
- 5 Power and heat generating plants
- 6 Railroad depots
- 7 School auditoriums, gymnasiums and stadiums
- 8 Utility substations
- 9 Water storage tanks and towers and radio and television transmitting and receiving towers, microwave relay stations
- 10 Wind energy conversion systems

- (e) Lot Area and Width
 - 1 Institutional uses served by public sanitary sewage facilities shall provide a minimum lot area of 10,000 square feet and a minimum lot frontage of 75 feet in width, and
 - 2 Institutional uses served by on-site soil absorption sewage disposal systems or other approved private means of sewage disposal, shall provide a minimum lot area of 40,000 square feet and a minimum lot frontage of 150 feet in width.

- (f) Building Height and Area
 - 1 No building or parts of a building shall exceed 60 feet in height.
 - 2 No maximum or minimum building area shall be required in the I-1 Institutional District due to the variety of uses within this district and the diverse building demands of each use.

- (g) Yards
 - 1 Street yard - not less than 65 feet from the right-of-way of all Federal, State and County trunk highways and not less than 30 feet from the right-of-way of all other roads. (8/6/02)
 - 2 Shore yard - not less than 75 feet from the ordinary high water mark of any navigable water. (11/5/86)
 - 3 Side yard - not less than 10 feet in width on each side of all structures.
 - 4 Rear yard - not less than 25 feet.

- (h) Authorized Sanitary Sewer Systems
 - 1 Public sanitary sewer systems
 - 2 On-site sewage disposal absorption system

C. CONDITIONAL USES

12.29-1 PURPOSE

A conditional use, as used in this ordinance, is designed to be a flexibility device designed to cope with situations where a particular use, although not inherently inconsistent with the use classification of a particular district, could create special problems and hazards if allowed to develop and locate as a matter of right in a particular district and therefore is in need of special consideration. Often the effects of these uses on the surrounding environment cannot be foreseen until a specific site has been proposed. The nature, character or circumstances of these uses are so unique or so dependent upon specific contemporary conditions that predetermination of permissibility by right or the detailing in the ordinance of all of the specific standards, regulations or conditions necessary or appropriate to such permissibility is not practical, it being recognized that the county is faced with practical difficulties in defining with precision in advance the conditions under which a conditional use permit will be granted. Those conditional uses hereinafter designated as such are deemed to have one or more of the following characteristics when located within certain districts:

- (a) Hazardous, dangerous or harmful to adjoining or nearby parcels, waters or the environment
- (b) Noxious, offensive, a nuisance or otherwise adverse to adjoining or nearby parcels, water or the environment
- (c) Inconsistent with or otherwise adverse to adjoining or nearby land or water uses in the absence of certain conditions

12.29-2 INTENT

It is the intent of the Kenosha County Board of Supervisors to allow the hereinafter designated conditional uses within the areas designated by this ordinance in accordance with section 12.29-5(g) of this ordinance and only when the conditions imposed thereon are met. Any conditions so imposed as a basis for granting the conditional use permit shall be binding on all grantees, assignees, heirs, legatees, donees, transferees and trustees of the petitioner.

12.29-3 PERMITS

The Kenosha County Planning, Development & Extension Education Committee may authorize the Department of Planning and Development to issue a conditional use permit for conditional uses as specified in each of the aforementioned districts set forth in sections 12.20 to 12.26 after review and a public hearing, as provided herein, provided that such conditional uses and structures are in accord with the provisions of this ordinance, its purpose and intent. (11/5/84)

12.29-4 APPLICATION (8/6/02)

- (a) Prior to application, the petitioner shall set up a pre-application conference with Planning and Development staff. This conference is intended to inform the petitioner of the purpose and objectives of these regulations. In so doing, the petitioner and the planning staff may reach mutual conclusions regarding the possible effect of the project on abutting properties and the petitioner will gain a better understanding of subsequent required procedures.

(b) Applications for conditional use permits shall be made in triplicate to the Department of Planning and Development on forms furnished by the Department of Planning and Development and shall include the following:

- 1 Name, address and phone number of the applicant, owner of the site, architect, professional engineer, contractor, and authorized agent.
- 2 Description of the subject site by lot, block, and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees, and the zoning district within which the subject site is located.
- 3 Plat of survey and/or a site plan layout consisting of a survey prepared by a land surveyor registered by the State of Wisconsin or other map drawn to scale and approved by the Department of Planning and Development showing all of the information required under section 12.05-1(h)3 for a zoning permit. In addition, the plat of survey or site plan layout or map shall show the location, elevation and use of any abutting lands and the location and foundation elevations of structures within 50 feet of the subject site; soil mapping unit lines; ordinary high water mark, historic high water marks and floodlands on or within 50 feet of the subject premises, and existing and proposed landscaping. Such plans as, for example, a plan of operation, may be required as well as impact statements. (11/5/86)
- 4 For shoreland and floodland conditional uses, such description shall also include information that is necessary for the County Planning, Development & Extension Education Committee to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human, animal or aquatic life. This additional information may include plans, certified by a registered professional engineer or land surveyor, showing existing and proposed elevations or contours of the ground; fill or storage elevation; basement and first floor elevations of structures; size, location, and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets water supply and sanitary facilities; aerial photographs, and photographs showing existing surrounding land uses and vegetation upstream and downstream; soil types and any other pertinent information required by either the Planning, Development & Extension Education Committee or the Department of Planning and Development. (11/5/84)
- 5 Additional information relative to the elimination or alleviation or control of the danger, hazard or nuisance sought to be averted as may be required by the Planning, Development & Extension Education Committee or the Department of Planning and Development, such as, without limitation due to enumeration, ground surface elevations, basement and first floor elevations, utility elevations, detailed landscape plans, plans of operation, hours, parking plans and waste disposal plans as defined in this ordinance, historic and probable future flood water elevations, areas subject to inundation by flood waters, depths of inundation, floodproofing measures, soil type, slope, and boundaries, and plans for proposed structures giving dimensions and elevations pertinent to the determination of the hydraulic capacity of the structure or its effects on flood flows. (11/5/84)

- 6 A list of property owners and parties of interest and their addresses certified by the Kenosha County Assessor's Office as required by section 12.05(1)(e) of this ordinance.
- 7 An agreement to abide by the terms of this ordinance and any permit issued pursuant to it.
- 8 The fee as required by section 12.05-8 of this Ordinance.

12.29-5 REVIEW AND APPROVAL

- (a) After receipt of a petition for a conditional use permit, the Department of Planning and Development shall place the matter on the agenda for a public hearing before the Kenosha County Planning, Development & Extension Education Committee provided, however, that the requirements of 12.06-4 of this ordinance are complied with. (11/5/84)
- (b) Notice of the aforementioned public hearing shall be published as a class 2 notice in a newspaper of general circulation within Kenosha County pursuant to Chapter 985 of the Wisconsin Statutes and the Wisconsin Open Meeting Law, section 19.81 to 19.98 of the Wisconsin Statutes. In addition, notice of said public hearing shall be mailed to the last known address of all property owners certified by the Kenosha County Assessor as being owners of property within 300 feet of the subject property or parties of interest as defined in this ordinance. Failure to receive notice shall not invalidate any action taken by the committee. After publication and notice, the petitioner may request the Planning, Development & Extension Education Committee for a one month postponement of the public hearing for good cause and no further publication or notice shall be required, provided, however, that notice of the adjourned hearing date is given in the record at the time of the published hearing. In the event the subject property lies within the shoreland jurisdiction of this ordinance, notice of the public hearing, at least 10 days before the hearing, and a copy of the application shall be mailed to the Southeast District office of the Department of Natural Resources in accordance with section NR115.05(6)(h) of the Wisconsin Administrative Code. In the event the subject property lies within a floodland district, notice of the public hearing and a copy of the application shall be mailed to the Southeast District Office of the Department of Natural Resources in accordance with section NR116.20(2)(c) of the Wisconsin Administrative Code. In the event the subject property is zoned A-1, notice shall be given as required by Wisconsin Statute, section 91.48(2) to the State Department of Agriculture, Trade and Consumer Protection. (3/1/94)
- (c) Upon receiving a petition for a conditional use permit, the Department of Planning and Development shall forward a copy of the petition to the town board and/or town planning commission of the town wherein the parcel is located and of any other town that may be immediately adjacent or opposite of such parcel and shall allow such board or planning commission 45 days to comment on said application. Within said period of 45 days, the town board and/or planning commission shall forward their recommendation to the county Planning, Development & Extension Education Committee along with standards or conditions which are found by them to be necessary for the issuance of a conditional use permit. Said standards or conditions shall be considered by the Planning, Development & Extension Education Committee. In the event that the town board or town planning commission recommends denial of the conditional use permit, said denial shall be considered by the Planning, Development & Extension Education Committee in rendering its decision. (11/5/84)

- (d) In hearing a petition requesting the issuance of a conditional use permit, the Planning, Development & Extension Education Committee shall call the petition at the public hearing. Upon the call of the petition, the petition shall be read by the Chairman of the Committee, and at the conclusion thereof, the chairman shall hear and receive any evidence or sworn testimony presented by the petitioner or his authorized agent. At the conclusion of the petitioner's presentation, the Chairman shall first ask for any public comments from those in support of the petition and secondly from those in opposition to the petition. Any relevant and material evidence or sworn testimony presented by individuals either in favor of or in opposition to the petition shall be received by the Chairman provided however that said evidence or sworn testimony is properly identifiable for the record. Lastly, the Chairman shall ask for a recommendation from the Department of Planning and Development. (11/5/84)
- (e) Upon receiving the recommendation of the Department of Planning and Development, the Committee may table the petition for a period of up to three months from the date of public hearing so as to allow the petitioner an opportunity to provide any further information deemed pertinent by the Committee or so as to allow the committee members an opportunity to view the site in accordance with the guidelines set forth in section 12.36-11 or consider the conditions for issuing a conditional use permit or to view similar uses already in existence in accordance with the guidelines set forth in section 12.36-11 if a comparison is warranted. All deliberations and decisions of the committee relating to the issuance of a conditional use permit shall, however, be made at a meeting held in conformance with the Wisconsin Open Meeting Law.
- (f) Upon having received all evidence and hearing all sworn testimony relating to the petition, the Planning, Development & Extension Education Committee shall review the site plan, existing and proposed structures, architectural plans, neighboring land and water uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewage and water systems, the proposed operation, the effects of the proposed use, structure, operation and improvement upon flood damage protection, water quality, shoreland cover, natural beauty and wildlife habitat, and any other pertinent requirements deemed necessary by the committee so as to eliminate, alleviate, or control any hazard, danger, harm, nuisance, adversity or inconsistency that exists or could develop. Upon completion of said review, the committee chairman shall entertain a motion that the committee either grant or deny the petition based upon specific findings and conclusions. (11/5/84)
- (g) In making its determination, the committee shall make the following findings:
- 1 Identification of the hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency sought to be averted.
 - 2 The affect of the proposed conditional use on drainage, traffic circulation, and the provision of public services.
 - 3 Existing and proposed methods of eliminating, alleviating or controlling the identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency.
 - 4 That regardless of any other provisions of this ordinance to the contrary allowing for a conditional use permit for a particular use on a particular parcel, that the proposed and applied for use on a particular parcel is not inherently inconsistent with either the district in which it is located or adjoining districts or neighbor-hoods.

- (h) Unless specifically altered by section 12.29-8 of this ordinance, compliance with all of the minimum provisions of this ordinance, dealing with such matters as, without limitation due to enumeration, lot area and width, building height and area, yards, sanitary systems, signs, parking, loading, traffic and highway access and performance standards shall be required of all conditional uses. Variances shall only be granted as provided in section 12.36 of this ordinance.
- (i) The decision of the committee shall be final unless a motion to review the decision of the committee is made and seconded at the County Board Meeting immediately following the decision of the Committee. All evidence or sworn testimony presented at said public hearing shall be preserved by the Kenosha County Department of Planning and Development. Notice of conditional uses granted in the A-1 Agricultural Preservation District shall be given to the State Department of Agriculture within 10 days following the decision. Notice of conditional uses granted in a floodland district or in any other area where the shoreland jurisdiction is applicable shall be given to the Southeast District office of the State Department of Natural Resources within 10 days following the decision. (3/1/94)
- (j) Any decision of the Kenosha County Planning, Development & Extension Education Committee or the Kenosha County Board of Supervisors related to the granting or denial of a conditional use permit may be appealed as provided for in section 12.35 of this ordinance. (11/5/84)
- (k) Any conditional use permit granted by the committee shall not be valid unless recorded by the applicant in the office of the Kenosha County Register of Deeds within 5 days after the issuance of the permit. Any recording fees shall be paid by the applicant. In addition, the Department of Planning and Development shall keep a record and/or map of all such conditional uses and permits which shall be open to the public.

12.29-6 EXISTING USES

- (a) All uses existing at the effective date of this ordinance which would be classified as conditional uses in the particular zoning district concerned if they were to be established after the effective date of this ordinance, are hereby declared to be conforming conditional uses to the extent of the existing operation only. Any addition, alteration, extension, repair or other proposed change in the existing operation shall be subject to the conditional use procedures as if such use were being established anew.
- (b) Campgrounds; contractor yards; salvage, wrecking, junk, demolition, and scrap yards; towing services; mineral extraction and related uses; and sanitary landfill uses shall within 180 days after the effective date of this ordinance register with the Department of Planning and Development and submit pertinent data relative to the present operation, including the boundaries of the operation, ownership data, maps or site plan showing the existing layout, and such other data as may be necessary to enable the Department of Planning and Development to create a permanent file establishing the size, layout and operational characteristics of the existing operation. A permit shall be granted to such existing operations for the extent of the existing operation only. The Department of Planning and Development may make a finding that an adequate file already exists concerning an existing operation and may accordingly waive the registration requirement and issue a permit accordingly. Notwithstanding the fact that the aforementioned use may not be permitted within a given district, any addition, extension, or change in the operation of the aforementioned

uses may be permitted, provided that such addition, extension or change shall be subject to the conditional use procedures set forth in this ordinance.

- (c) Any other use not mentioned above which was a conforming conditional use before adoption or amendment of this ordinance, but is not a permitted conditional use in the district in which it is now located, shall be considered a legal non-conforming use and shall be subject to the requirements of section 12.28-1 through 12.28-11 of this ordinance.

12.29-7 REVOCATION OF CONDITIONAL USE PERMIT

Upon a complaint filed alleging non-compliance with the terms of the conditional use permit by any interested party with the Department of Planning and Development, or upon the motion of the Department of Planning and Development, the Planning, Development & Extension Education Committee shall schedule an open hearing within 45 days of the filing of the complaint and shall conduct a hearing pursuant to the general outline set forth in section 12.29-5. Upon a finding that the standards, regulations and conditions set forth in granting the conditional use permit have been violated, the Planning, Development & Extension Education Committee may suspend the conditional use permit until such time as there is compliance with the standards, regulations and conditions imposed in the past. In the alternative, the Committee may revoke the conditional use permit. Any continued operation of the conditional use after a suspension or revocation shall be deemed a violation of this ordinance and subject to the fines set forth in section 12.33 of this ordinance. The action of the Committee may be appealed pursuant to section 12.35 of this ordinance. Any failure to revoke a conditional use permit for past violations shall not operate as a waiver of the right to suppress future violations. (11/5/84)

12.29-8 STANDARDS FOR CONDITIONAL USES

- (a) In addition to the specific conditions required herein, additional reasonable conditions or requirements which bear a direct relationship to the hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency sought to be eliminated, alleviated or controlled such as without limitation due to enumeration: environmental, economic or social impact statements, storm drainage plans, landscaping, architectural design, type of construction, floodproofing, ground cover, anchoring of structures, construction commencement and completion dates in accordance with section 12.05-3 of this ordinance, sureties, letters of credit, performance bonds, waivers, lighting, fencing, location, size and number of signs, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards or parking requirements, plat of survey maps, certified survey maps, easement or street dedications, increased building areas, in-creased water supply, essential services and utilities, sanitary and sewage requirements, installation of pollution abatement, security, and/or safety systems, higher performance standards, stages for development of the conditional use, future review of the conditional use operation, conditions surrounding termination of the conditional use permit and the period of time for which the conditional use will be permitted may be required by the Planning, Development & Extension Education Committee if upon its finding these are necessary to fulfill the purpose and intent of this ordinance and so as to eliminate, alleviate or control the hazard, danger, harm, noxiousness, offensiveness, nuisance, adversity or inconsistency sought to be averted. Where studies or impact statements are required, the committee can address problems called to its attention by the imposition of certain conditions aimed at eliminating, alleviating or controlling the problems. (11/5/84)

(b) The following uses are deemed by the Kenosha County Board of Supervisors to be hazardous, dangerous, harmful, noxious, offensive, a nuisance or otherwise adverse to adjoining or nearby parcels, waters or the environment or inconsistent with or otherwise adverse to adjoining or nearby land or water uses and therefore should be required to meet certain additional regulations, standards, and conditions hereinafter set forth and/or standards and conditions imposed by the Planning, Development & Extension Education Committee in accordance with section 12.29-5(g) so as to eliminate, alleviate or control the hazard, danger, harm, noxiousness, offensiveness, nuisance, adversity or inconsistency prior to being permitted in the particular district wherein said use is listed as a conditional use: (11/5/84)

1 Abrasives and asbestos in the M-2 District.

- a There shall be adequate containment and disposal of waste and by-products used in the manufacturing of abrasives and asbestos.
- b There shall be sufficient safeguards to insure against pollution and contamination of surrounding areas so as to insure against damage to the surrounding environment and to further insure against health hazards.
- c The Department of Planning and Development shall be permitted access to the property and buildings located thereon at any time upon request to determine compliance with the specific conditions set forth by the Planning, Development & Extension Education Committee. (11/5/84)

2 Reserved for future use (3/16/04)

3 Airstrips, landing fields and hangars for personal or agricultural related uses in the A-1, A-2 and A-4 Districts and airports, heliport pads, aircraft hangars for storage and equipment maintenance and aircraft sales and maintenance in the I-1 District.

- a The area shall be sufficient and the site otherwise adequate to meet the standards of the federal aviation agency and the Wisconsin Department of Transportation and any other Federal or State agency retaining jurisdiction over such airstrips and landing fields in accordance with their proposed rules and regulations. In no case shall the parcel be less than 35 acres in size.
- b Any building, hangar or other structure shall be at least one hundred (100) feet from any street or boundary line.
- c Any proposed runway or landing strips shall be situated so that the approach zones are free of any flight obstructions, such as towers, chimneys, other tall structures or natural obstructions outside the airport site.
- d There shall be sufficient distance between the end of each usable landing strip to satisfy the requirements of the aforementioned agencies, and no landing strip shall be within 200 feet of any property line. If air rights or easements have been acquired from the owners of

21 Caretaker quarters in the M-3 District.

22 Cemeteries in the I-1 District.

- a The site proposed for a cemetery shall not interfere with the development of a system of collector and arterial streets in the vicinity. In addition, the site shall have direct access to a public roadway.
- b Any new cemetery shall be located on a site containing at least twenty (20) acres.
- c All burial buildings and crematoriums shall meet the yard requirements of the District. A burial building is any building used for the interment of bodies or other remains of persons who have died, including mausoleums, vaults or columbaria.
- d All graves or burial lots shall be set back at least thirty (30) feet from any street bounding the cemetery and there shall be two (2) side yards and a rear yard of at least twenty-five (25) feet each.
- e Existing cemeteries may continue to operate in a manner consistent with the existing development in the area presently covered by a conditional use permit. Any expansion to land not covered by an existing conditional use permit must comply with the requirements of this section.
- f Adequate parking shall be provided on the site, and no cemetery parking shall be permitted on any public street.
- g Nothing in these provisions, however, shall prohibit the issuance of a conditional use permit for a pet cemetery.

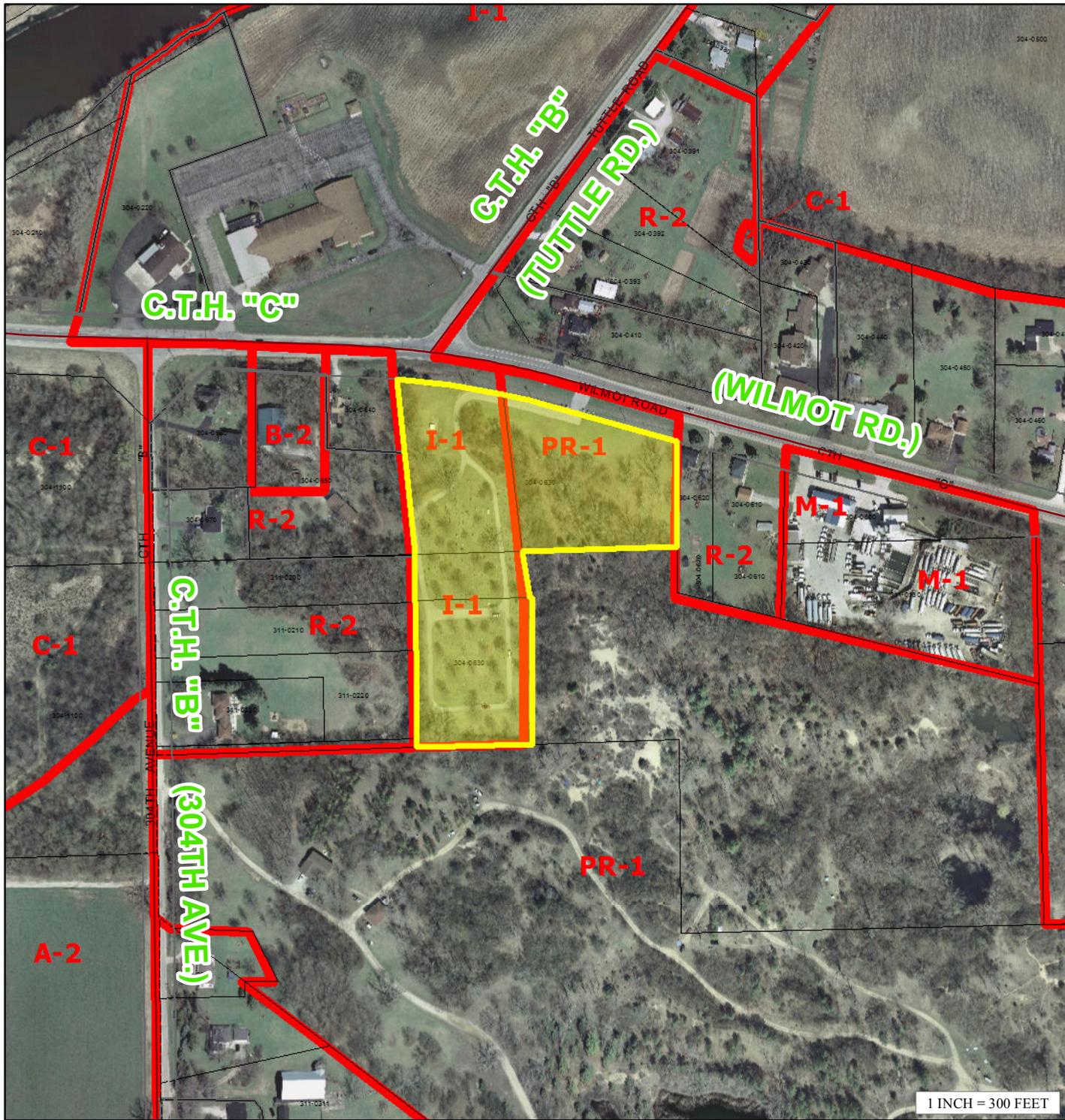
23 Chemicals in the M-2 District.

- a A detailed site, operation, fire protection, security, waste disposal, storage, pollution control, storm drainage, and traffic flow plan shall be presented to the committee.
- b Performance bonds shall be required to insure compliance with the terms of the conditional use permit.
- c The committee shall be advised of the potential of any health hazards that may accompany the manufacture or production of chemicals.

24 Coal and bone distillation in the M-2 District.

- a Performance bonds shall be required to insure compliance with the performance standards set forth in this ordinance.

25 Commercial egg production in the A-3 District. For all new and expanding commercial egg production facilities, the following requirements shall be complied with:



CONDITIONAL USE SITE MAP

PETITIONER(S):

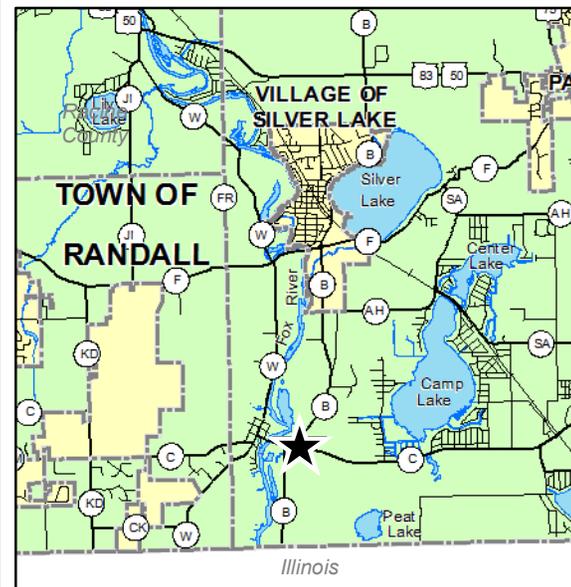
Holy Cross Parish (Owner),
Bill Mellen (Agent)

LOCATION: SE 1/4 of Section 30,
Town of Salem

TAX PARCEL(S): #67-4-120-304-0630

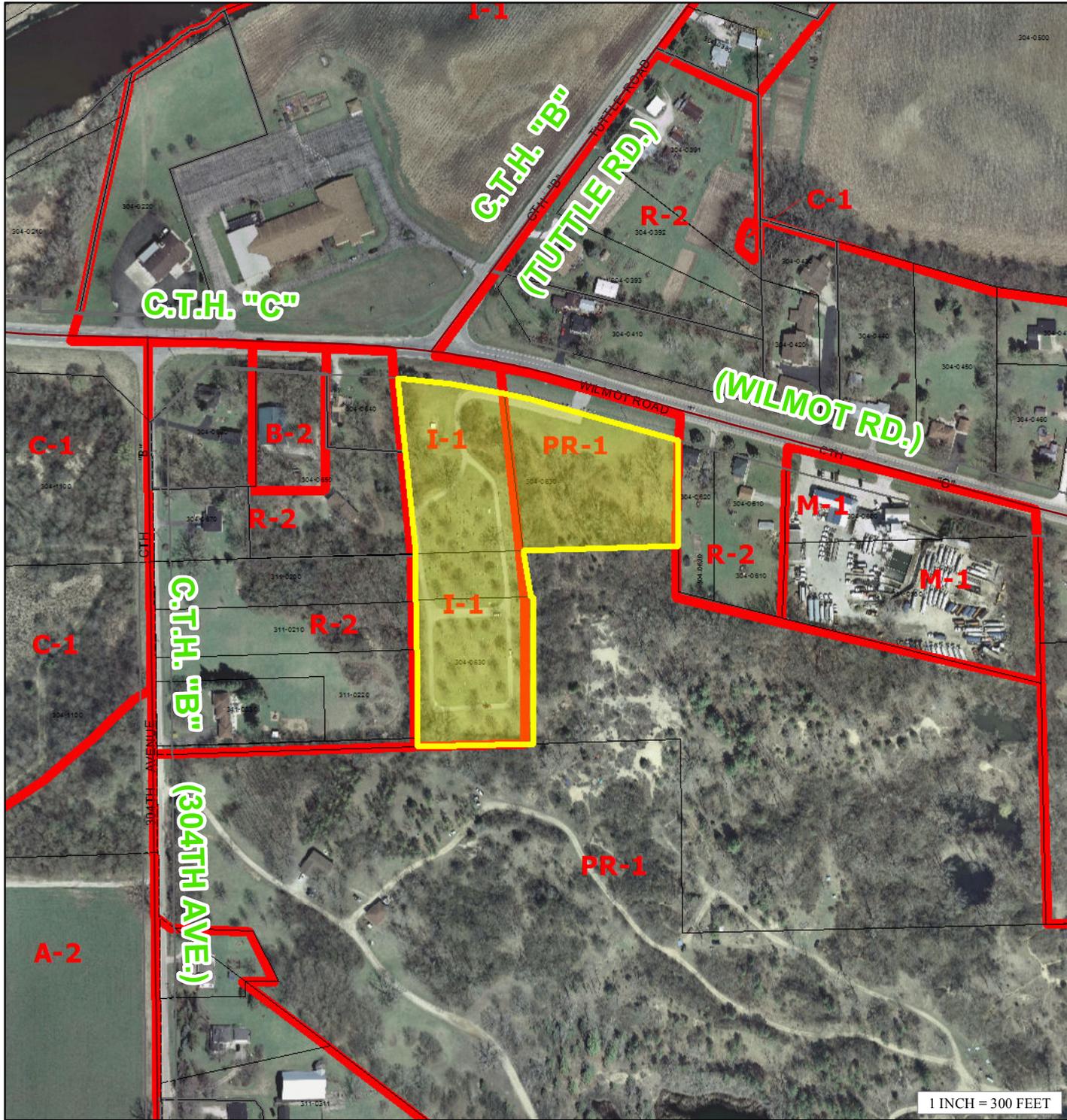
REQUEST:

Requesting a conditional use permit to allow an expansion of an existing cemetery in the I-1 Institutional District.



1 INCH = 300 FEET





CEMETERY PLAT ADDITION MAP

PETITIONER(S):

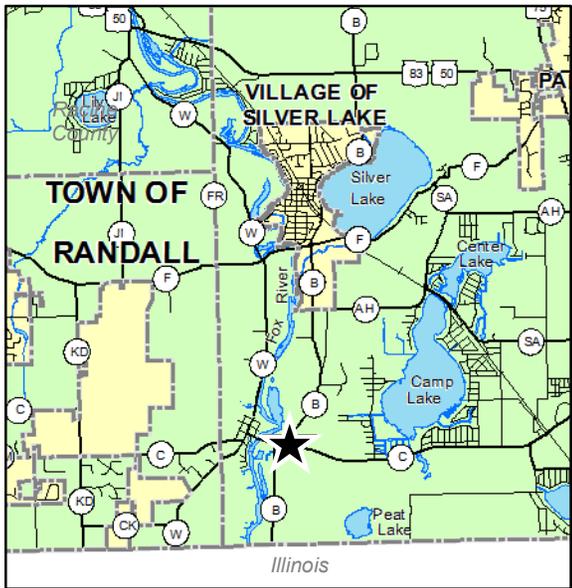
Holy Cross Parish (Owner),
Bill Mellen (Agent)

LOCATION: SE 1/4 of Section 30,
Town of Salem

TAX PARCEL(S): #67-4-120-304-0630

REQUEST:

Requesting a cemetery plat addition in the
I-1 Institutional District.





COUNTY OF KENOSHA

Department of Planning and Development

RECEIVED

FEB 03 2016

Kenosha County
Planning and Development

CONDITIONAL USE PERMIT PROCEDURES



KENOSHA COUNTY

DEPARTMENT OF PLANNING
AND DEVELOPMENT



COUNTY OF KENOSHA

Department of Planning and Development

CONDITIONAL USE PERMIT PROCEDURES

- 1. Contact the Department of Planning and Development and check with staff to determine if your proposed use is a permitted use, an accessory use or a conditional use. If it is a conditional use, then a conditional use permit must be applied for and received prior to occupying or using the site for that use. Note: If the proposed conditional use is part of a proposed land division see the Certified Survey Map Information and Procedures. If the proposed conditional use is part of a proposed rezoning petition see the Rezoning Application Form.

- 2. Contact the Department of Planning and Development and schedule a pre-conference meeting, which is required for all conditional use permit requests.
Meeting Date: 10-15-2015

- 3. Complete and submit the Kenosha County Conditional Use Permit Application by the filing deadline (see Planning, Development & Extension Education Committee Schedule handout).

- 4. Submit a copy of the date-stamped application to your local township for placement on the agenda of the Town Planning Commission and Town Board, which recommends action to the County Planning, Development & Extension Education Committee. Keep a copy for your records.

- 5. Attend the Town Planning Commission and the Town Board meetings. **NOTE:** You must attend or the Town will not be able to act on your request.
Town Planning Commission meeting date (tentative): _____
Town Board meeting date (tentative): _____

- 6. Attend the Planning, Development & Extension Education Committee public hearing. **NOTE:** You must attend or the Planning, Development & Extension Education Committee will not be able to act on your request. At this meeting you will be asked to brief the Committee on your request.
Kenosha County Planning, Development & Extension Education Committee meeting date: _____
(tentative)

- 7. If denied by the Kenosha County Planning, Development & Extension Education Committee you have thirty (30) days to file an appeal with circuit court.

- 8. If approved you may proceed with obtaining site plan approval (site plan layout, stormwater, landscaping, lighting, parking/paving etc...).

- 9. Apply for and obtain any necessary zoning permit(s) for construction (i.e. new buildings, building additions, signage, fencing, etc...) with the Kenosha County Department of Planning and Development.

- 10. Apply for any obtain any necessary building permit(s) for construction (i.e. new buildings, building additions, signage, fencing, etc...) with you respective township.

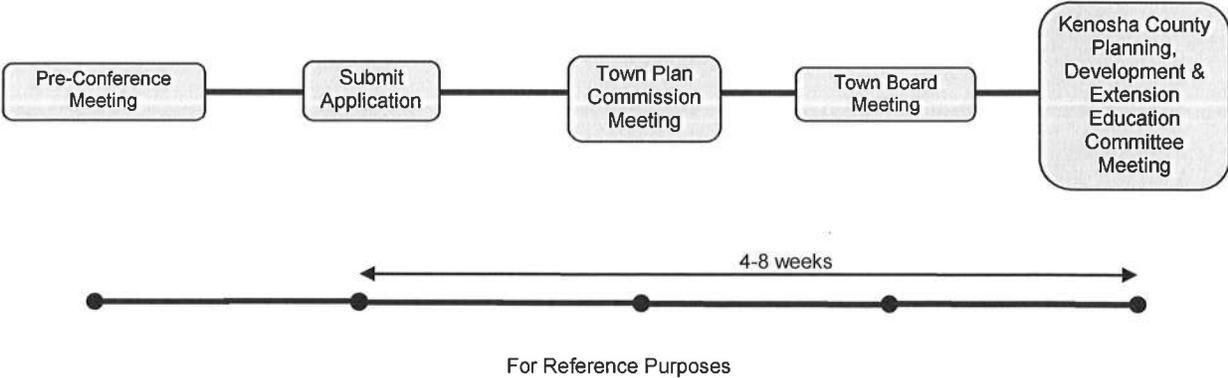
- 11. Complete any obligations for foundation survey, waiver of liability of foundation survey, stormwater as-built requirement and/or certificate of occupancy.

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center
 Department of Planning & Development
 19600 - 75th Street, Post Office Box 520
 Bristol, Wisconsin 53104-0520

Division of County Development (including Sanitation & Land Conservation)	857-1895
Facsimile #.....	857-1920
Public Works Division of Highways.....	857-1870
Administration Building	
Division of Land Information	653-2622
Brighton, Town of	878-2218
Paris, Town of	859-3006
Randall, Town of	877-2165
Salem, Town of	843-2313
Utility District	862-2371
Somers Town of	859-2822
Wheatland, Town of	537-4340
Wisconsin Department of Natural Resources - Sturtevant Office	884-2300
Wisconsin Department of Transportation - Waukesha Office	548-8722

Conditional Use Permit Timeline





COUNTY OF KENOSHA

Department of Planning and Development

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FEB 03 2016

CONDITIONAL USE PERMIT APPLICATION

Kenosha County
Planning and Development

(a) Property Owner's Name:

ATMUL LLC

Print Name: Asam Akhtar

Signature: 

Mailing Address: PO Box 26

City: Trevor

State: WI

Zip: 53179

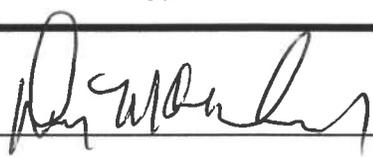
Phone Number: 630-649-3245

E-mail (optional): sam@trevorminimart.com

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status signed by the legal property owner must be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: Dan McMahon

Signature: 

Business Name: Interstate Pump & Tank

Mailing Address: 901 Niagra Street

City: Waukesha

State: WI

Zip: 53186

Phone Number: 262-524-8494

E-mail (optional): dan@interstatepumpanktank.com

(c) Architect's Name (if applicable):

Print Name: _____

Signature: _____

Business Name: _____

Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone Number: _____ E-mail (optional): _____

(d) Engineer's Name (if applicable):

Print Name: _____

Signature: _____

Business Name: _____

Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone Number: _____ E-mail (optional): _____

CONDITIONAL USE PERMIT APPLICATION

(e) Tax key number(s) of subject site:

66-4-120-273-0810

Address of the subject site:

25921 Wilmot Road

(f) Plan of Operation (or attach separate plan of operation)

Type of structure:

1960 Commercial Gas Station Building & Canopy

Proposed operation or use of the structure or site:

To construct a canopy addition to include two additional pump stations as originally submitted in 1993 for future expansion. This will allow for increased transportation fuel needs in Trevor do to increased traffic and activity associated with Industrial Park expansion. Existing piping will be utilized for the additional fuel islands proposed.

There is also a 20' building expansion to West depicted in Site Layout for future if deemed necessary for increased Convenience Store volume. This is not a planned addition at this time, but may be needed in the not so distant future. This building addition may be used for a number of different uses of which some examples are; Increased Storage, Increased Retail Space / Convenience Items, Prepared Food Items, Increased Cooler/Freezer Space, Etc..

Additional parking associated with expansion has been depicted on Proposed Site Layout as well as changes to approaches off Hwy C. Green space will be added to North and lost to South for additional parking. This being proposed to comply as close as possible to Town and County Code. Green space is also being added to West as a "Buffer" from Residential Property to West. The only immediate change to original "Plan of Operations" is to double the amount of retail fueling opportunity (Increasing from 4 fueling spaces to 8 fueling spaces).

Number of employees (by shift): One to Two

Hours of Operation: 5:00 a.m - 11:00 p.m attended with after hours credit card gasoline

Any outdoor entertainment? If so, please explain: None

Any outdoor storage? If so, please explain: None

Zoning district of the property: B-2 & A-2

(g) Attach a plat of survey prepared by a land surveyor registered by the State of Wisconsin or site plan drawn to scale and approved by the Department of Planning and Development showing all of the information required under section 12.05-1(h)3 for a zoning permit. In addition, the plat of survey or site plan layout shall show the location, elevation and use of any abutting lands and the location and foundation elevations of structures within 50 feet of the subject site; soil mapping unit lines; ordinary high water mark, historic high water marks and floodlands on or within 50 feet of the subject premises, and existing and proposed landscaping.

CONDITIONAL USE PERMIT APPLICATION

For conditional use permit applications that are made within shoreland and floodland areas, such description shall also include information that is necessary for the County Planning, Development & Extension Education Committee to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human, animal or aquatic life. This additional information may include plans, certified by a registered professional engineer or land surveyor, showing existing and proposed elevations or contours of the ground; fill or storage elevation; basement and first floor elevations of structures; size, location, and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets water supply and sanitary facilities; aerial photographs, and photographs showing existing surrounding land uses and vegetation upstream and downstream; soil types and any other pertinent information required by either the Planning, Development & Extension Education Committee or the Office of Planning and Zoning Administration:

(h) The Kenosha County Department of Planning and Development may ask for additional information.

(i) The fee specified in Section 12.05-8 of this ordinance.

Request for Conditional Use Permit \$750.00

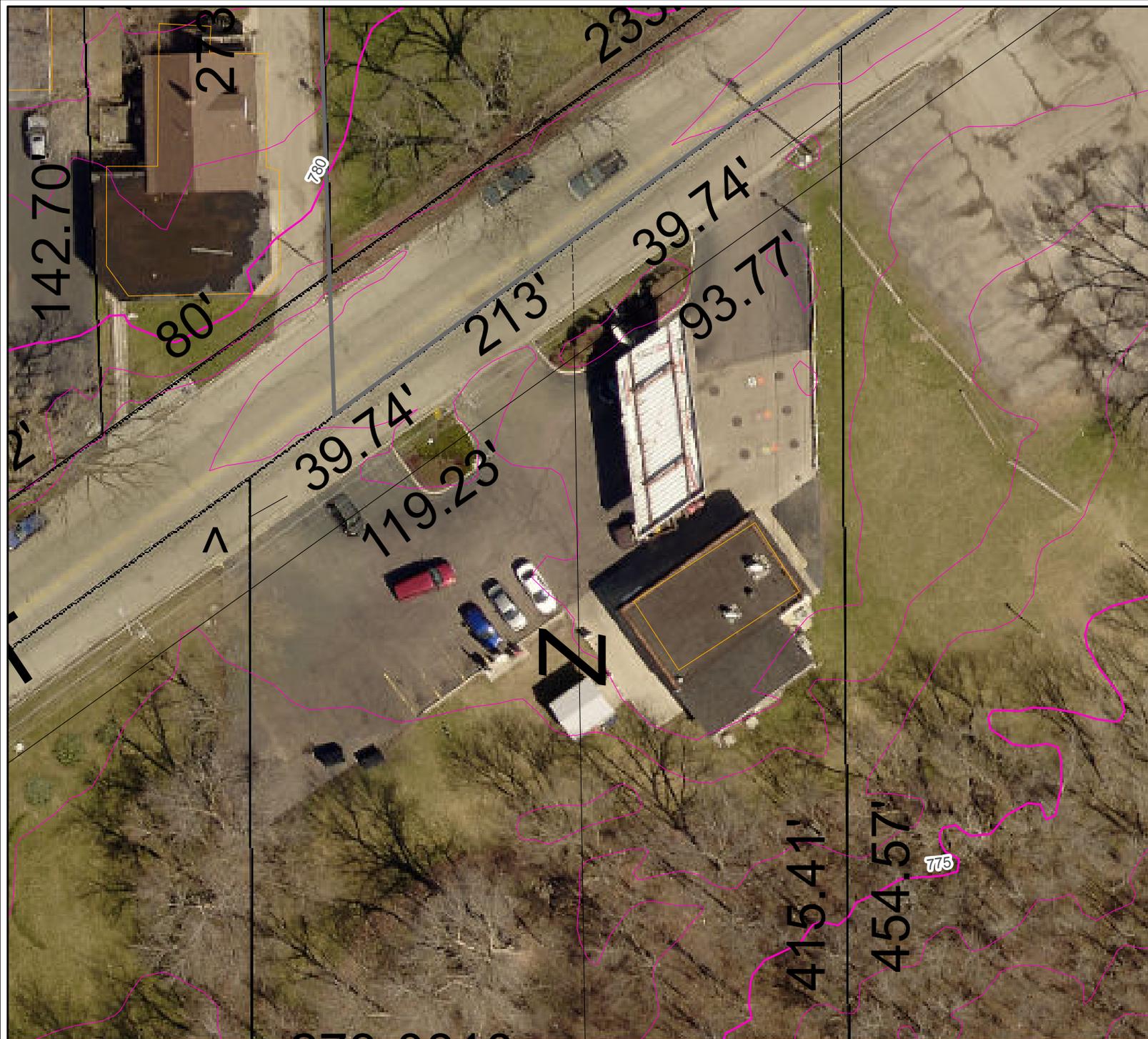
(For other fees see the Fee Schedule)

Kenosha County



1 inch = 40 feet

THIS MAP IS NEITHER A LEGALLY RECORDED MAP NOR A SURVEY AND IS NOT INTENDED TO BE USED AS ONE. THIS DRAWING IS A COMPILATION OF RECORDS, DATA AND INFORMATION LOCATED IN VARIOUS STATE, COUNTY AND MUNICIPAL OFFICES AND OTHER SOURCES AFFECTING THE AREA SHOWN AND IS TO BE USED FOR REFERENCE PURPOSES ONLY. KENOSHA COUNTY IS NOT RESPONSIBLE FOR ANY INNACURACIES HEREIN CONTAINED. IF DISCREPANCIES ARE FOUND, PLEASE CONTACT KENOSHA COUNTY.



12.22-2 B-2 COMMUNITY BUSINESS DISTRICT

(a) Primary Purpose and Characteristics

The B-2 Community Business District is intended to provide for the orderly development of business activities, such as retail stores, office buildings and services in the center of communities and settlements throughout Kenosha County. These "downtown" areas should be developed in a manner that would contribute to their role as the center of the community. All new structures and uses and changes or additions to existing structures and uses shall be in compliance with the site plan review requirements of this ordinance (See Section 12.08-2). (8/6/02)

It is recognized that it is neither possible nor practicable to list all of the principal and accessory uses that are compatible with those listed below and therefore it is intended that the following list of principal and accessory uses only be illustrative. Any individual aggrieved by a failure to list a particular principal or accessory use in this subsection shall have the right to file a petition with the Kenosha County Department of Planning and Development pursuant to section 12.35 of this ordinance for a determination as to the similarity of the intended use with the principal and accessory uses listed below.

(b) Principal Uses

- 1 Antique and collectors stores
- 2 Appliance stores
- 3 Automotive and marine supply stores
- 4 Bakeries
- 5 Banks, credit unions and savings and loan associations
- 6 Bars
- 7 Barber shops and beauty shops
- 8 Boat launches
- 9 Boat and marina supplies
- 10 Bookstores
- 11 Bowling alleys
- 12 Business offices
- 13 Camera and photographic supply stores
- 14 Caterers
- 15 Christmas tree sales
- 16 Clinics
- 17 Clothing and apparel stores
- 18 Clubs
- 19 Cocktail lounges
- 20 Commercial recreational facilities (indoor)
- 21 Confectioneries
- 22 Crockery stores
- 23 Delicatessens
- 24 Department stores
- 25 Drug Stores
- 26 Electrical supplies
- 27 Essential services
- 28 Fish markets
- 29 Florists

- 30 Fruit stores
- 31 Funeral homes
- 32 Furniture and carpet stores
- 33 Gift stores
- 34 Grocery stores and convenience stores
- 35 Hardware stores
- 36 Heating supply stores
- 37 Hobby and craft shops
- 38 Hotels
- 39 Jewelry stores
- 40 Laundry and dry cleaning establishments not employing more than seven persons
- 41 Limited Adult Media Stores, as provided in section 12.22-6 (3/16/04)
- 42 Liquor stores
- 43 Lodges and clubs
- 44 Meat markets
- 45 Motels
- 46 Music stores
- 47 Newspaper and magazine stores and pressrooms
- 48 Nightclubs and dance halls
- 49 Office buildings
- 50 Office supply stores
- 51 Optical stores
- 52 Packaged beverage stores
- 53 Paint, glass and wallpaper stores
- 54 Parking lots
- 55 Personal service establishments
- 56 Pet shops
- 57 Plumbing supplies
- 58 Printing
- 59 Professional offices
- 60 Private clubs
- 61 Racquet ball and tennis courts (indoor)
- 62 Radio-T.V. broadcast studios
- 63 Restaurants, including fast food and drive-in restaurants
- 64 Secondhand stores
- 65 Shoe stores and leather goods stores
- 66 Signs
- 67 Sporting goods stores
- 68 Supermarkets
- 69 Taverns
- 70 Theaters
- 71 Tobacco shops
- 72 Union halls
- 73 Upholstery shops
- 74 Variety stores
- 75 Vegetable stores

- (c) Accessory Uses
- 1 Garages for storage of vehicles used in conjunction with the operation of the business
 - 2 Off-street parking and loading areas
 - 3 Residential quarters for the owner or proprietor, or rental apartments on a non-ground floor level, provided that there shall be a minimum floor area of 300 square feet for an efficiency or one bedroom apartment, 500 square feet for a two bedroom or larger apartment. There shall be no more than two (2) rental apartments per parcel above a B-2 district store or office. (8/6/02)
- (d) **Conditional Uses** (see also section 12.29-8) (8/6/02)
- 1 Animal hospitals, shelters and kennels and veterinary services
 - 2 Automotive sales, service, and mechanical repairs
 - 3 Bus depots
 - 4 Car washes
 - 5 Commercial recreational facilities
 - 6 Flea Markets
 - 7 **Gasoline service stations**
 - 8 Railroad depots
 - 9 Utility substations
 - 10 Restaurants, bars or taverns with outdoor dining, recreation, entertainment (i.e., volleyball, horseshoes, etc.)
- (e) Lot Area and Width
- 1 Individual businesses served by public sanitary sewage facilities shall provide a minimum lot area of 10,000 square feet and a minimum frontage of 75 feet in width
 - 2 Individual businesses served by on-site soil absorption sewage disposal system or other approved private means of sewage disposal, shall provide a minimum lot area of 40,000 square feet and a minimum frontage of 150 feet in width
- (f) Building Height
- 1 No building or parts of a building shall exceed 35 feet in height, and
 - 2 No maximum or minimum building area shall be required in the B-2 District due to the variety of uses within the District and the diverse building demands of each user.
- (g) Yards (8/6/02)
- 1 Street yard - not less than 65 feet from the right-of-way of all Federal, State Trunk or County Trunk highways; and not less than 30 feet from the right-of-way of all other roads. (8/6/02)
 - 2 Shore yard - not less than 75 feet from the ordinary high water mark of any navigable water. (11/5/86)
 - 3 Side yard – not less than 10 feet in width on each side of all structures
 - 4 Rear yard - not less than 25 feet.
- (h) Authorized Sanitary Sewer Systems
- 1 Public sanitary sewer
 - 2 On-site soil absorption disposal system
 - 3 Holding tank on lots of record created prior to July 1, 1980

C. CONDITIONAL USES

12.29-1 PURPOSE

A conditional use, as used in this ordinance, is designed to be a flexibility device designed to cope with situations where a particular use, although not inherently inconsistent with the use classification of a particular district, could create special problems and hazards if allowed to develop and locate as a matter of right in a particular district and therefore is in need of special consideration. Often the effects of these uses on the surrounding environment cannot be foreseen until a specific site has been proposed. The nature, character or circumstances of these uses are so unique or so dependent upon specific contemporary conditions that predetermination of permissibility by right or the detailing in the ordinance of all of the specific standards, regulations or conditions necessary or appropriate to such permissibility is not practical, it being recognized that the county is faced with practical difficulties in defining with precision in advance the conditions under which a conditional use permit will be granted. Those conditional uses hereinafter designated as such are deemed to have one or more of the following characteristics when located within certain districts:

- (a) Hazardous, dangerous or harmful to adjoining or nearby parcels, waters or the environment
- (b) Noxious, offensive, a nuisance or otherwise adverse to adjoining or nearby parcels, water or the environment
- (c) Inconsistent with or otherwise adverse to adjoining or nearby land or water uses in the absence of certain conditions

12.29-2 INTENT

It is the intent of the Kenosha County Board of Supervisors to allow the hereinafter designated conditional uses within the areas designated by this ordinance in accordance with section 12.29-5(g) of this ordinance and only when the conditions imposed thereon are met. Any conditions so imposed as a basis for granting the conditional use permit shall be binding on all grantees, assignees, heirs, legatees, donees, transferees and trustees of the petitioner.

12.29-3 PERMITS

The Kenosha County Planning, Development & Extension Education Committee may authorize the Department of Planning and Development to issue a conditional use permit for conditional uses as specified in each of the aforementioned districts set forth in sections 12.20 to 12.26 after review and a public hearing, as provided herein, provided that such conditional uses and structures are in accord with the provisions of this ordinance, its purpose and intent. (11/5/84)

12.29-4 APPLICATION (8/6/02)

- (a) Prior to application, the petitioner shall set up a pre-application conference with Planning and Development staff. This conference is intended to inform the petitioner of the purpose and objectives of these regulations. In so doing, the petitioner and the planning staff may reach mutual conclusions regarding the possible effect of the project on abutting properties and the petitioner will gain a better understanding of subsequent required procedures.

(b) Applications for conditional use permits shall be made in triplicate to the Department of Planning and Development on forms furnished by the Department of Planning and Development and shall include the following:

- 1 Name, address and phone number of the applicant, owner of the site, architect, professional engineer, contractor, and authorized agent.
- 2 Description of the subject site by lot, block, and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees, and the zoning district within which the subject site is located.
- 3 Plat of survey and/or a site plan layout consisting of a survey prepared by a land surveyor registered by the State of Wisconsin or other map drawn to scale and approved by the Department of Planning and Development showing all of the information required under section 12.05-1(h)3 for a zoning permit. In addition, the plat of survey or site plan layout or map shall show the location, elevation and use of any abutting lands and the location and foundation elevations of structures within 50 feet of the subject site; soil mapping unit lines; ordinary high water mark, historic high water marks and floodlands on or within 50 feet of the subject premises, and existing and proposed landscaping. Such plans as, for example, a plan of operation, may be required as well as impact statements. (11/5/86)
- 4 For shoreland and floodland conditional uses, such description shall also include information that is necessary for the County Planning, Development & Extension Education Committee to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human, animal or aquatic life. This additional information may include plans, certified by a registered professional engineer or land surveyor, showing existing and proposed elevations or contours of the ground; fill or storage elevation; basement and first floor elevations of structures; size, location, and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets water supply and sanitary facilities; aerial photographs, and photographs showing existing surrounding land uses and vegetation upstream and downstream; soil types and any other pertinent information required by either the Planning, Development & Extension Education Committee or the Department of Planning and Development. (11/5/84)
- 5 Additional information relative to the elimination or alleviation or control of the danger, hazard or nuisance sought to be averted as may be required by the Planning, Development & Extension Education Committee or the Department of Planning and Development, such as, without limitation due to enumeration, ground surface elevations, basement and first floor elevations, utility elevations, detailed landscape plans, plans of operation, hours, parking plans and waste disposal plans as defined in this ordinance, historic and probable future flood water elevations, areas subject to inundation by flood waters, depths of inundation, floodproofing measures, soil type, slope, and boundaries, and plans for proposed structures giving dimensions and elevations pertinent to the determination of the hydraulic capacity of the structure or its affects on flood flows. (11/5/84)

- 6 A list of property owners and parties of interest and their addresses certified by the Kenosha County Assessor's Office as required by section 12.05(1)(e) of this ordinance.
- 7 An agreement to abide by the terms of this ordinance and any permit issued pursuant to it.
- 8 The fee as required by section 12.05-8 of this Ordinance.

12.29-5 REVIEW AND APPROVAL

- (a) After receipt of a petition for a conditional use permit, the Department of Planning and Development shall place the matter on the agenda for a public hearing before the Kenosha County Planning, Development & Extension Education Committee provided, however, that the requirements of 12.06-4 of this ordinance are complied with. (11/5/84)
- (b) Notice of the aforementioned public hearing shall be published as a class 2 notice in a newspaper of general circulation within Kenosha County pursuant to Chapter 985 of the Wisconsin Statutes and the Wisconsin Open Meeting Law, section 19.81 to 19.98 of the Wisconsin Statutes. In addition, notice of said public hearing shall be mailed to the last known address of all property owners certified by the Kenosha County Assessor as being owners of property within 300 feet of the subject property or parties of interest as defined in this ordinance. Failure to receive notice shall not invalidate any action taken by the committee. After publication and notice, the petitioner may request the Planning, Development & Extension Education Committee for a one month postponement of the public hearing for good cause and no further publication or notice shall be required, provided, however, that notice of the adjourned hearing date is given in the record at the time of the published hearing. In the event the subject property lies within the shoreland jurisdiction of this ordinance, notice of the public hearing, at least 10 days before the hearing, and a copy of the application shall be mailed to the Southeast District office of the Department of Natural Resources in accordance with section NR115.05(6)(h) of the Wisconsin Administrative Code. In the event the subject property lies within a floodland district, notice of the public hearing and a copy of the application shall be mailed to the Southeast District Office of the Department of Natural Resources in accordance with section NR116.20(2)(c) of the Wisconsin Administrative Code. In the event the subject property is zoned A-1, notice shall be given as required by Wisconsin Statute, section 91.48(2) to the State Department of Agriculture, Trade and Consumer Protection. (3/1/94)
- (c) Upon receiving a petition for a conditional use permit, the Department of Planning and Development shall forward a copy of the petition to the town board and/or town planning commission of the town wherein the parcel is located and of any other town that may be immediately adjacent or opposite of such parcel and shall allow such board or planning commission 45 days to comment on said application. Within said period of 45 days, the town board and/or planning commission shall forward their recommendation to the county Planning, Development & Extension Education Committee along with standards or conditions which are found by them to be necessary for the issuance of a conditional use permit. Said standards or conditions shall be considered by the Planning, Development & Extension Education Committee. In the event that the town board or town planning commission recommends denial of the conditional use permit, said denial shall be considered by the Planning, Development & Extension Education Committee in rendering its decision. (11/5/84)

- (d) In hearing a petition requesting the issuance of a conditional use permit, the Planning, Development & Extension Education Committee shall call the petition at the public hearing. Upon the call of the petition, the petition shall be read by the Chairman of the Committee, and at the conclusion thereof, the chairman shall hear and receive any evidence or sworn testimony presented by the petitioner or his authorized agent. At the conclusion of the petitioner's presentation, the Chairman shall first ask for any public comments from those in support of the petition and secondly from those in opposition to the petition. Any relevant and material evidence or sworn testimony presented by individuals either in favor of or in opposition to the petition shall be received by the Chairman provided however that said evidence or sworn testimony is properly identifiable for the record. Lastly, the Chairman shall ask for a recommendation from the Department of Planning and Development. (11/5/84)
- (e) Upon receiving the recommendation of the Department of Planning and Development, the Committee may table the petition for a period of up to three months from the date of public hearing so as to allow the petitioner an opportunity to provide any further information deemed pertinent by the Committee or so as to allow the committee members an opportunity to view the site in accordance with the guidelines set forth in section 12.36-11 or consider the conditions for issuing a conditional use permit or to view similar uses already in existence in accordance with the guidelines set forth in section 12.36-11 if a comparison is warranted. All deliberations and decisions of the committee relating to the issuance of a conditional use permit shall, however, be made at a meeting held in conformance with the Wisconsin Open Meeting Law.
- (f) Upon having received all evidence and hearing all sworn testimony relating to the petition, the Planning, Development & Extension Education Committee shall review the site plan, existing and proposed structures, architectural plans, neighboring land and water uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewage and water systems, the proposed operation, the effects of the proposed use, structure, operation and improvement upon flood damage protection, water quality, shoreland cover, natural beauty and wildlife habitat, and any other pertinent requirements deemed necessary by the committee so as to eliminate, alleviate, or control any hazard, danger, harm, nuisance, adversity or inconsistency that exists or could develop. Upon completion of said review, the committee chairman shall entertain a motion that the committee either grant or deny the petition based upon specific findings and conclusions. (11/5/84)
- (g) In making its determination, the committee shall make the following findings:
- 1 Identification of the hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency sought to be averted.
 - 2 The affect of the proposed conditional use on drainage, traffic circulation, and the provision of public services.
 - 3 Existing and proposed methods of eliminating, alleviating or controlling the identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency.
 - 4 That regardless of any other provisions of this ordinance to the contrary allowing for a conditional use permit for a particular use on a particular parcel, that the proposed and applied for use on a particular parcel is not inherently inconsistent with either the district in which it is located or adjoining districts or neighbor-hoods.

- (h) Unless specifically altered by section 12.29-8 of this ordinance, compliance with all of the minimum provisions of this ordinance, dealing with such matters as, without limitation due to enumeration, lot area and width, building height and area, yards, sanitary systems, signs, parking, loading, traffic and highway access and performance standards shall be required of all conditional uses. Variances shall only be granted as provided in section 12.36 of this ordinance.
- (i) The decision of the committee shall be final unless a motion to review the decision of the committee is made and seconded at the County Board Meeting immediately following the decision of the Committee. All evidence or sworn testimony presented at said public hearing shall be preserved by the Kenosha County Department of Planning and Development. Notice of conditional uses granted in the A-1 Agricultural Preservation District shall be given to the State Department of Agriculture within 10 days following the decision. Notice of conditional uses granted in a floodland district or in any other area where the shoreland jurisdiction is applicable shall be given to the Southeast District office of the State Department of Natural Resources within 10 days following the decision. (3/1/94)
- (j) Any decision of the Kenosha County Planning, Development & Extension Education Committee or the Kenosha County Board of Supervisors related to the granting or denial of a conditional use permit may be appealed as provided for in section 12.35 of this ordinance. (11/5/84)
- (k) Any conditional use permit granted by the committee shall not be valid unless recorded by the applicant in the office of the Kenosha County Register of Deeds within 5 days after the issuance of the permit. Any recording fees shall be paid by the applicant. In addition, the Department of Planning and Development shall keep a record and/or map of all such conditional uses and permits which shall be open to the public.

12.29-6 EXISTING USES

- (a) All uses existing at the effective date of this ordinance which would be classified as conditional uses in the particular zoning district concerned if they were to be established after the effective date of this ordinance, are hereby declared to be conforming conditional uses to the extent of the existing operation only. Any addition, alteration, extension, repair or other proposed change in the existing operation shall be subject to the conditional use procedures as if such use were being established anew.
- (b) Campgrounds; contractor yards; salvage, wrecking, junk, demolition, and scrap yards; towing services; mineral extraction and related uses; and sanitary landfill uses shall within 180 days after the effective date of this ordinance register with the Department of Planning and Development and submit pertinent data relative to the present operation, including the boundaries of the operation, ownership data, maps or site plan showing the existing layout, and such other data as may be necessary to enable the Department of Planning and Development to create a permanent file establishing the size, layout and operational characteristics of the existing operation. A permit shall be granted to such existing operations for the extent of the existing operation only. The Department of Planning and Development may make a finding that an adequate file already exists concerning an existing operation and may accordingly waive the registration requirement and issue a permit accordingly. Notwithstanding the fact that the aforementioned use may not be permitted within a given district, any addition, extension, or change in the operation of the aforementioned

uses may be permitted, provided that such addition, extension or change shall be subject to the conditional use procedures set forth in this ordinance.

- (c) Any other use not mentioned above which was a conforming conditional use before adoption or amendment of this ordinance, but is not a permitted conditional use in the district in which it is now located, shall be considered a legal non-conforming use and shall be subject to the requirements of section 12.28-1 through 12.28-11 of this ordinance.

12.29-7 REVOCATION OF CONDITIONAL USE PERMIT

Upon a complaint filed alleging non-compliance with the terms of the conditional use permit by any interested party with the Department of Planning and Development, or upon the motion of the Department of Planning and Development, the Planning, Development & Extension Education Committee shall schedule an open hearing within 45 days of the filing of the complaint and shall conduct a hearing pursuant to the general outline set forth in section 12.29-5. Upon a finding that the standards, regulations and conditions set forth in granting the conditional use permit have been violated, the Planning, Development & Extension Education Committee may suspend the conditional use permit until such time as there is compliance with the standards, regulations and conditions imposed in the past. In the alternative, the Committee may revoke the conditional use permit. Any continued operation of the conditional use after a suspension or revocation shall be deemed a violation of this ordinance and subject to the fines set forth in section 12.33 of this ordinance. The action of the Committee may be appealed pursuant to section 12.35 of this ordinance. Any failure to revoke a conditional use permit for past violations shall not operate as a waiver of the right to suppress future violations. (11/5/84)

12.29-8 STANDARDS FOR CONDITIONAL USES

- (a) In addition to the specific conditions required herein, additional reasonable conditions or requirements which bear a direct relationship to the hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency sought to be eliminated, alleviated or controlled such as without limitation due to enumeration: environmental, economic or social impact statements, storm drainage plans, landscaping, architectural design, type of construction, floodproofing, ground cover, anchoring of structures, construction commencement and completion dates in accordance with section 12.05-3 of this ordinance, sureties, letters of credit, performance bonds, waivers, lighting, fencing, location, size and number of signs, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards or parking requirements, plat of survey maps, certified survey maps, easement or street dedications, increased building areas, in-creased water supply, essential services and utilities, sanitary and sewage requirements, installation of pollution abatement, security, and/or safety systems, higher performance standards, stages for development of the conditional use, future review of the conditional use operation, conditions surrounding termination of the conditional use permit and the period of time for which the conditional use will be permitted may be required by the Planning, Development & Extension Education Committee if upon its finding these are necessary to fulfill the purpose and intent of this ordinance and so as to eliminate, alleviate or control the hazard, danger, harm, noxiousness, offensiveness, nuisance, adversity or inconsistency sought to be averted. Where studies or impact statements are required, the committee can address problems called to its attention by the imposition of certain conditions aimed at eliminating, alleviating or controlling the problems. (11/5/84)

(b) The following uses are deemed by the Kenosha County Board of Supervisors to be hazardous, dangerous, harmful, noxious, offensive, a nuisance or otherwise adverse to adjoining or nearby parcels, waters or the environment or inconsistent with or otherwise adverse to adjoining or nearby land or water uses and therefore should be required to meet certain additional regulations, standards, and conditions hereinafter set forth and/or standards and conditions imposed by the Planning, Development & Extension Education Committee in accordance with section 12.29-5(g) so as to eliminate, alleviate or control the hazard, danger, harm, noxiousness, offensiveness, nuisance, adversity or inconsistency prior to being permitted in the particular district wherein said use is listed as a conditional use: (11/5/84)

1 Abrasives and asbestos in the M-2 District.

- a There shall be adequate containment and disposal of waste and by-products used in the manufacturing of abrasives and asbestos.
- b There shall be sufficient safeguards to insure against pollution and contamination of surrounding areas so as to insure against damage to the surrounding environment and to further insure against health hazards.
- c The Department of Planning and Development shall be permitted access to the property and buildings located thereon at any time upon request to determine compliance with the specific conditions set forth by the Planning, Development & Extension Education Committee. (11/5/84)

2 Reserved for future use (3/16/04)

3 Airstrips, landing fields and hangars for personal or agricultural related uses in the A-1, A-2 and A-4 Districts and airports, heliport pads, aircraft hangars for storage and equipment maintenance and aircraft sales and maintenance in the I-1 District.

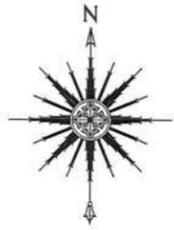
- a The area shall be sufficient and the site otherwise adequate to meet the standards of the federal aviation agency and the Wisconsin Department of Transportation and any other Federal or State agency retaining jurisdiction over such airstrips and landing fields in accordance with their proposed rules and regulations. In no case shall the parcel be less than 35 acres in size.
- b Any building, hangar or other structure shall be at least one hundred (100) feet from any street or boundary line.
- c Any proposed runway or landing strips shall be situated so that the approach zones are free of any flight obstructions, such as towers, chimneys, other tall structures or natural obstructions outside the airport site.
- d There shall be sufficient distance between the end of each usable landing strip to satisfy the requirements of the aforementioned agencies, and no landing strip shall be within 200 feet of any property line. If air rights or easements have been acquired from the owners of

- a A detailed site plan shall be submitted showing all structures and their distances including canopies, pump islands, lightpoles, tower signs, storage tank locations, etc.
- b All canopy posts shall be at least 30 feet from any property line. No canopy shall exceed 20 feet in height.
- c Canopies shall not be permitted to overhang past the property line.
- d All pumps shall be set back at least 30 feet from any property line.
- e Gasoline service stations for semi-trailers shall have their ingress and egress located in such a fashion as to give due regard to topography and public road and pedestrian traffic taking into consideration hills, curves, speed limits and vision clearance.

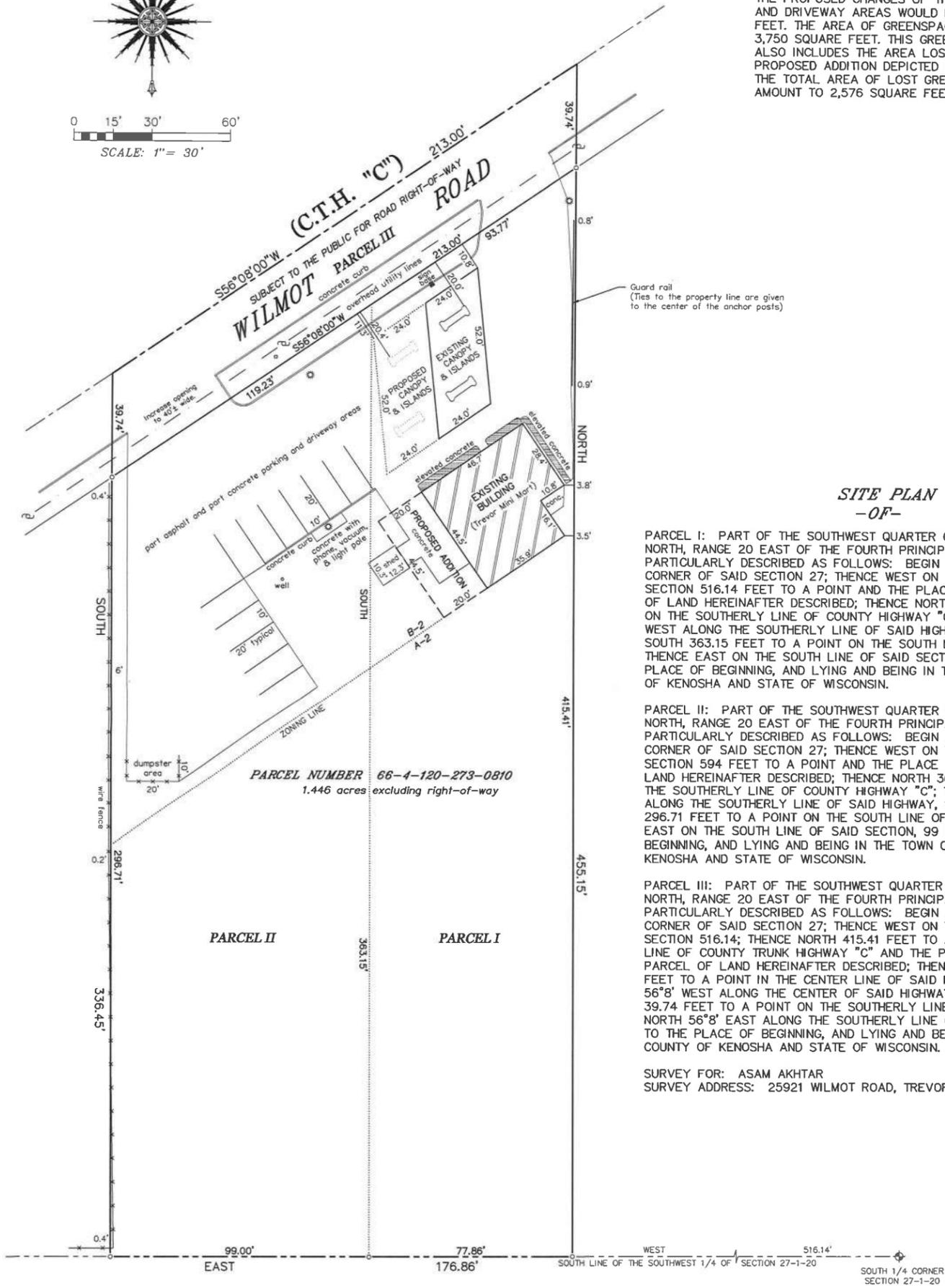
50 Golf courses in the PR-1 District.

- a A detailed site plan and plan of operation shall be submitted to the Planning, Development & Extension Education Committee. (11/5/84)
- b Adequate sanitary facilities shall be provided.
- c A storm drainage plan prepared by certified engineers shall be presented to the Planning, Development & Extension Education Committee for approval. (11/5/84)
- d Fairways shall be located in such a fashion as to avoid golf balls being driven outside of the property boundary lines.
- e Those courses to be located in primary environmental corridors shall not be granted a conditional use permit unless a conservation plan has been presented to the Planning, Development & Extension Education Committee for review and approval. (11/5/84)
- f The following accessory uses may be permitted:
 - 1) Country club
 - 2) Restaurant
 - 3) Pro shop facility
 - 4) Tennis courts
 - 5) Ice skating rinks
 - 6) Swimming pools
- g The site shall contain a minimum of at least 80 acres.
- h Those golf courses located in floodplain areas shall not be permitted to have structures located thereon.

51 Golf driving ranges in the PR-1 District



NOTE: THE AREA OF GREENSPACE GAINED WITH THE PROPOSED CHANGES OF THE EXISTING PARKING AND DRIVEWAY AREAS WOULD BE 1,174 SQUARE FEET. THE AREA OF GREENSPACE LOST WOULD BE 3,750 SQUARE FEET. THIS GREENSPACE AREA LOST ALSO INCLUDES THE AREA LOST FROM THE PROPOSED ADDITION DEPICTED HEREON. THEREFORE, THE TOTAL AREA OF LOST GREENSPACE WOULD AMOUNT TO 2,576 SQUARE FEET.



SITE PLAN
-OF-

PARCEL I: PART OF THE SOUTHWEST QUARTER OF SECTION 27, TOWN 1 NORTH, RANGE 20 EAST OF THE FOURTH PRINCIPAL MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT THE SOUTH QUARTER CORNER OF SAID SECTION 27; THENCE WEST ON THE SOUTH LINE OF SAID SECTION 516.14 FEET TO A POINT AND THE PLACE OF BEGINNING OF PARCEL OF LAND HEREINAFTER DESCRIBED; THENCE NORTH 415.41 FEET TO A POINT ON THE SOUTHERLY LINE OF COUNTY HIGHWAY "C"; THENCE SOUTH 56°8' WEST ALONG THE SOUTHERLY LINE OF SAID HIGHWAY, 93.77 FEET; THENCE SOUTH 363.15 FEET TO A POINT ON THE SOUTH LINE OF SAID SECTION; THENCE EAST ON THE SOUTH LINE OF SAID SECTION, 77.86 FEET TO THE PLACE OF BEGINNING, AND LYING AND BEING IN THE TOWN OF SALEM, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

PARCEL II: PART OF THE SOUTHWEST QUARTER OF SECTION 27, TOWN 1 NORTH, RANGE 20 EAST OF THE FOURTH PRINCIPAL MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT THE SOUTH QUARTER CORNER OF SAID SECTION 27; THENCE WEST ON THE SOUTH LINE OF SAID SECTION 594 FEET TO A POINT AND THE PLACE OF BEGINNING OF PARCEL OF LAND HEREINAFTER DESCRIBED; THENCE NORTH 363.15 FEET TO A POINT ON THE SOUTHERLY LINE OF COUNTY HIGHWAY "C"; THENCE SOUTH 56°8' WEST ALONG THE SOUTHERLY LINE OF SAID HIGHWAY, 119.23 FEET; THENCE SOUTH 296.71 FEET TO A POINT ON THE SOUTH LINE OF SAID SECTION; THENCE EAST ON THE SOUTH LINE OF SAID SECTION, 99 FEET TO THE PLACE OF BEGINNING, AND LYING AND BEING IN THE TOWN OF SALEM, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

PARCEL III: PART OF THE SOUTHWEST QUARTER OF SECTION 27, TOWN 1 NORTH, RANGE 20 EAST OF THE FOURTH PRINCIPAL MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT THE SOUTH QUARTER CORNER OF SAID SECTION 27; THENCE WEST ON THE SOUTH LINE OF SAID SECTION 516.14; THENCE NORTH 415.41 FEET TO A POINT ON THE SOUTHERLY LINE OF COUNTY TRUNK HIGHWAY "C" AND THE PLACE OF BEGINNING OF PARCEL OF LAND HEREINAFTER DESCRIBED; THENCE CONTINUE NORTH 39.74 FEET TO A POINT IN THE CENTER LINE OF SAID HIGHWAY; THENCE SOUTH 56°8' WEST ALONG THE CENTER OF SAID HIGHWAY, 213 FEET; THENCE SOUTH 39.74 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID HIGHWAY; THENCE NORTH 56°8' EAST ALONG THE SOUTHERLY LINE OF SAID HIGHWAY 213 FEET TO THE PLACE OF BEGINNING, AND LYING AND BEING IN THE TOWN OF SALEM, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

SURVEY FOR: ASAM AKHTAR
SURVEY ADDRESS: 25921 WILMOT ROAD, TREVOR WI 53179

PARCEL NUMBER 66-4-120-273-0810
1.446 acres excluding right-of-way

"I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A CORRECT REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAYS AND ENCROACHMENTS, IF ANY."

"THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE YEAR FROM DATE HEREOF."

SATTER SURVEYING, LLC
LAND SURVEYS, MAPPING AND PLANNING
272 ORIGIN STREET
BURLINGTON, WI 53105
262-661-4239

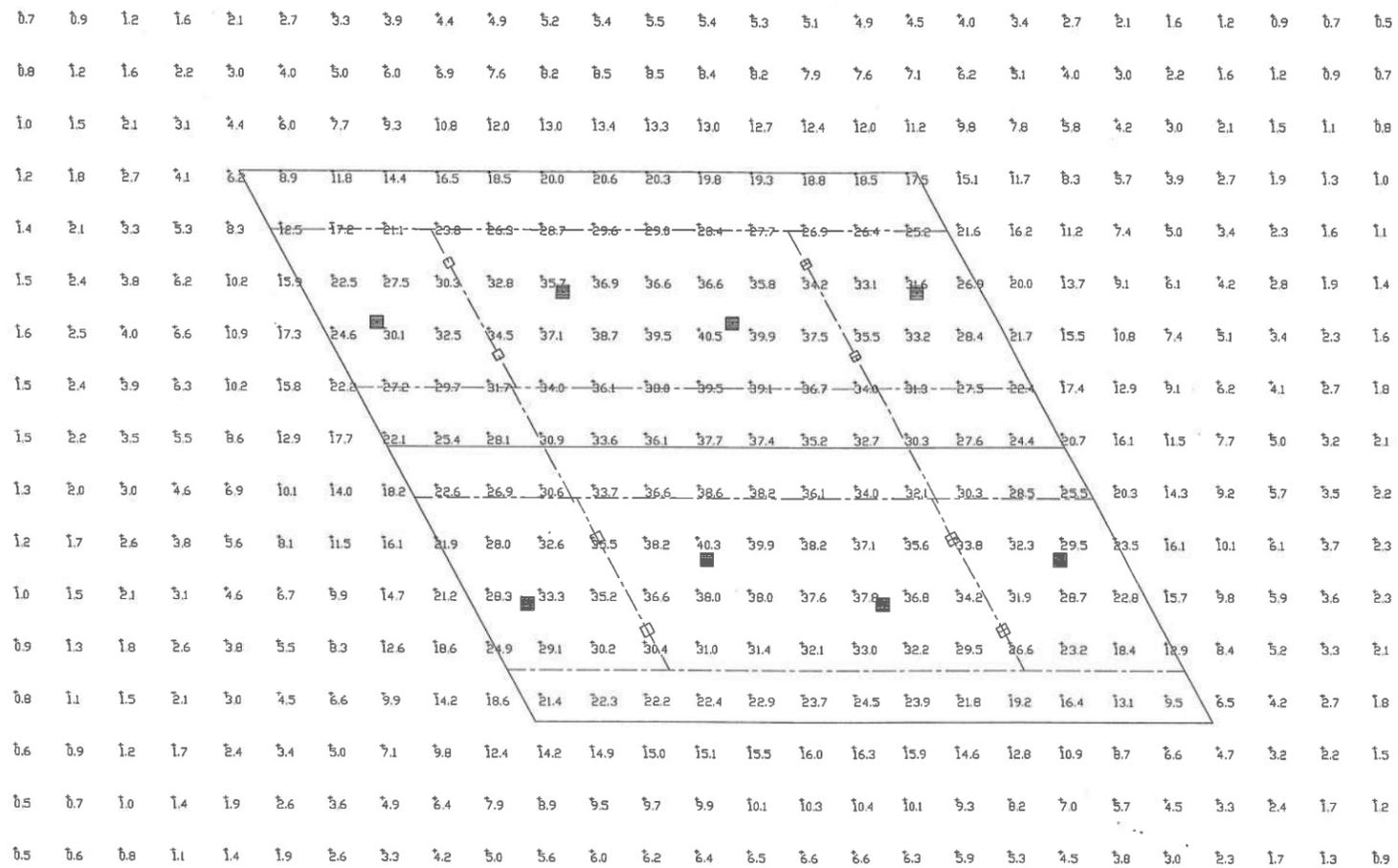
- LEGEND**
- FOUND IRON PIPE
 - ⊕ UTILITY POLE
 - UTILITY BOX
 - ⊙ LIGHT POLE

NOTE: REFER TO A CURRENT TITLE REPORT FOR EASEMENTS, RESTRICTIONS OR COVENANTS WHICH MAY AFFECT THIS PROPERTY.

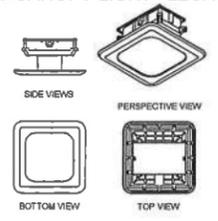
THIS IS NOT AN ORIGINAL PRINT UNLESS THIS SEAL IS RED.

THOMAS L. SATTER S-2850

DECEMBER 28, 2015 091507
DATE JOB NUMBER



**CRUS-SC-LED
LED CANOPY LIGHT - LEGACY**



Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
■	8	A	SINGLE	CRUS-SC-LED-SS-CV-UE	1.000	NA	13554	114

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	13.44	40.5	0.5	26.88	81.00
CANOPY	Illuminance	Fc	29.20	40.5	8.9	3.28	4.55

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Total Project Watts
Total Watts = 912



LIGHTING PROPOSAL **LD-129976**

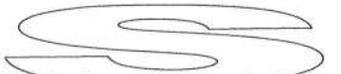
TREVOR BP

BY:MVE DATE:10-27-15 REV: SHEET 1 OF 1

SCALE: 1"=8' 0 8

Date: 10/22/15

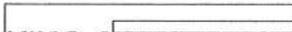
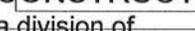
Project: 12714

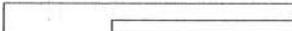

Structural Calculations

for


24' X 52' (4) Post Skewed Addition
to side of Existing 24' x 52' Canopy

Manufactured By

STEEL  KING CONSTRUCTION CO.
a division of 
KING MFG. CORP.

For: Trevor Mini-mart, 25921 Wilmot Road

Trevor, WI 53179

Governing Codes:


I.B.C. - 2009 Edition with Wisconsin Administrative Code
Chapters SPS 360 to 366

ASCE 7 - 05

AISC - Ninth and Thirteenth Editions

MBMA - Metal Building Manufacturer's Association

Light Gauge Cold Formed Steel Design Manual - Latest Edition

American Iron & Steel Institute - Latest Edition

ACI 318-08

Allowable Stresses:


Cold Formed Members

CS' Grade B - 40,000 PSI Yield

24,000 PSI Design

Mill Rolled ASTM A36 Plate - 36 KSI Yield

Hot Rolled Structural Shapes

Beams - ASTM A992 - 50 KSI Yield

Columns - ASTM A500 C - 50 KSI Yield

Pier & Footing Concrete

4,500 PSI Minimum Strength @ 28 Days

Design Loads:

35 PSF = Ground Snow Load, Pg

29.4 PSF = Flat-Roof Snow Load, Pf

1 PSF + Self Weight = Dead Load

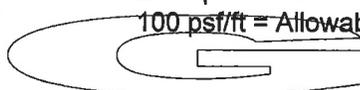
90 MPH = Basic Wind Speed

30 PSF = Wind Uplift

15.25 plf = Equivalent Snow Drift Load

2000 psf = Max Allowable Net Soil Bearing Pressure (Presumed)

100 psf/ft = Allowable Passive Soil Pressure (Presumed)

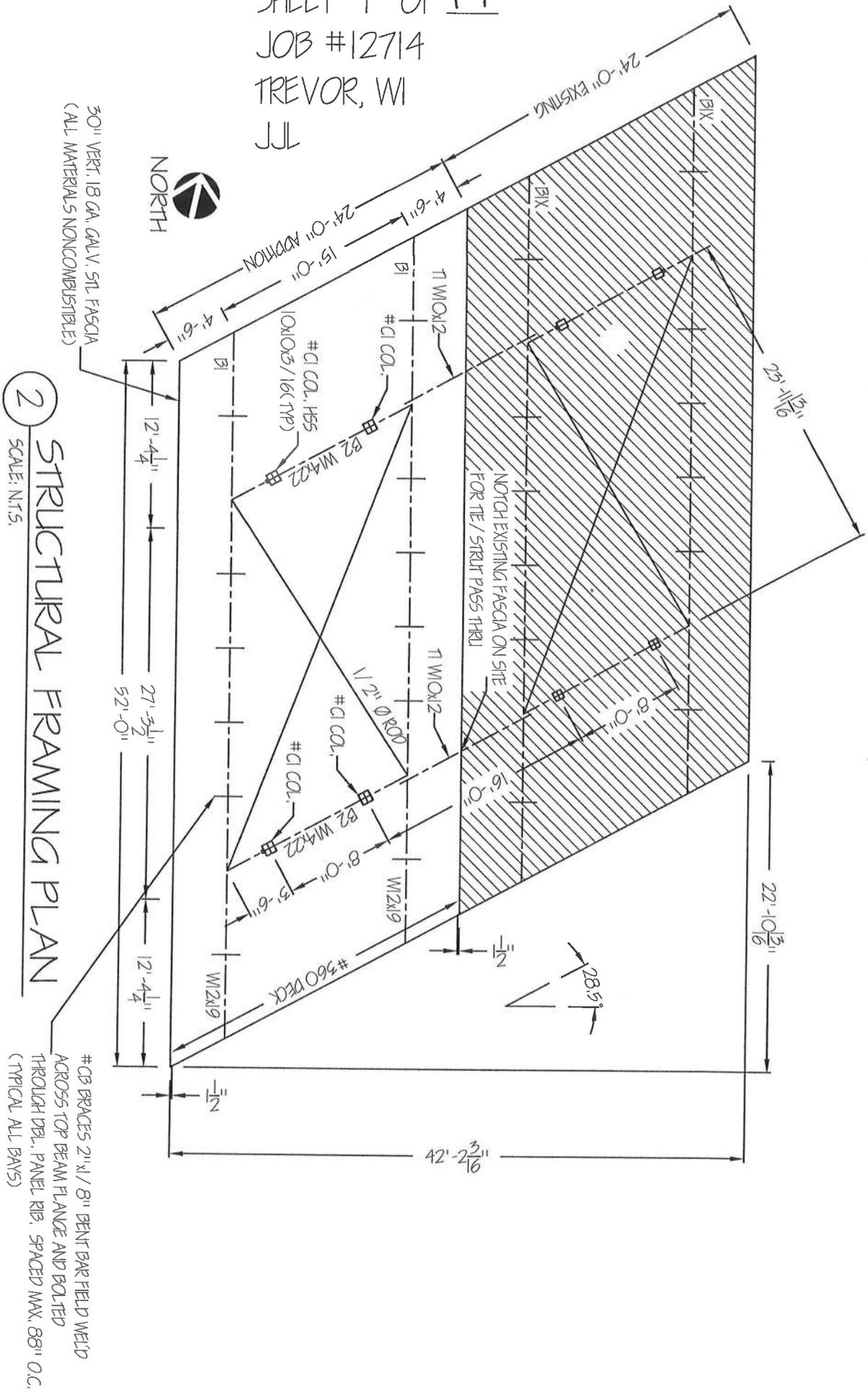


SHEET 1 OF 14

JOB #12714

TREVOR, WI

JLJ



2 STRUCTURAL FRAMING PLAN
SCALE: N.T.S.

#C3 BRACES 2" x 1/8" BENT BAR FIELD WELD
ACROSS TOP BEAM FLANGE AND BOLTED
THROUGH DEL. PANEL RIB. SPACED MAX. 88" O.C.
(TYPICAL ALL BAYS)

50" VERT. 18 GA. GALV. STL. FASCIA
(ALL MATERIALS NONCOMBUSTIBLE)



NOTCH EXISTING FASCIA ON SITE
FOR THE STRUT PASS THRU

Live Load: No occupancy live loading expected, treat as a roof

IBC 2009 / ASCE 7-06

Minimum Uniformly Distributed Live Load, $L_o = 20$ psf 1607.11.2.1 / Table 4-1
 Reduction in Roof Live Loads on Flat, Pitched, and Curved Roofs: $L_r = L_o * R_1 * R_2$ Eq. 16-25 / 4.9.1
 At ≥ 600 sq. ft, $R_1 = 0.6$ Eq. 16-28 / 4.9.1
 $F = 0.1"$ per foot length < 4 , $R_2 = 1$ 1607.11.2.1 / 4.9.1
 $L_o = 20$ Table 1607.1 / Table 4-1
 $L_r = 12$ psf - Live Load required

Snow Load:

Flat-Roof Snow Loads, pf $pf = 0.7 * C_e * C_t * I * p_g$ 7.3

Ground Snow Load, $p_g = 35$ psf Figure 1608.2 / Figure 7-1
 Snow Exposure Factor, $C_e = 1.0$ Table 7-2
 Terrain Category B or C, Partially exposed
 Thermal Factor, $C_t = 1.2$ Table 7-3
 Unheated Structure
 Importance Factor, $I_s = 1.0$ Table 7-4
 Category II
 $pf = 29.4$ psf - Snow Load required

Drift Loading - see pages 5 & 6

7.7

Wind Load: Use Analytical Procedure, Method 2 Per ASCE-7

1609.6 / 6.5.1

Building, Open: Fascia treated as a wall, therefore structure has at least 80% opening below the fascia

6.2

Design Wind Force, $F = q_z * G * C_f * A_f$, lb Eq. 6-28

Velocity Pressure, $q_z = 0.00256 * K_z * K_{zt} * K_d * V^2 * I$, lb/ft² Eq. 6-15

Basic Wind Speed, $V = 90$ mph Fig. 1609 / Fig. 6-1
 Wind directionality factor $K_d = 0.85$ 6.5.4.4, Table 6-4
 Solid Signs
 Importance Factor, $I = 1.00$ Table 1-1, Table 6-1
 Category II, non-hurricane prone, $v = 85-100$ mph
 Surface Roughness = C 6.5.6.2
 Exposure Category = C 6.5.6.3

Vel. Pres. Exp. Coef., K_z Table 6-3
 Exposure Category C, 15 ft to roof surface and 6.5.6.6

Case 2 = $k_z = 0.85$ Table 6-3

Topographical Factor, $K_{zt} = (1 + K_1 * K_2 * K_3)^2$ 6.5.7.2, Fig. 6-4
 No topo effects $K_{zt} = 1.0$ Eq. 6-3
 $q_z = 0.00256 * K_z * K_{zt} * K_d * V^2 * I$ Eq. 6-15

Case 2 $q_z = 14.98$ psf

Snow Drift Design Load

Design Code: ASCE 7-05

Page 5 of 14

SNOW LOADING

Ground Snow Load, P_g 35 psf
Snow Exposure Coefficient, C_e : 1
Thermal Factor, C_t : 1.2
Occupancy Importance Factor, I : 1
Depth of gutter beneath decking: 5 inches
Parapet Height, (Hr): 2.08 ft

CANOPY SIZE & INFORMATION

Canopy Length: 52 ft
Canopy Width: 24 ft
Total Fascia Height: 30 inches
Depth of Decking: 3 inches
Fascia Weight: 15 plf
Distance from Purlin Beam to Panel Edge: 4.5 ft

FLAT-ROOF SNOW LOADS (ASCE 7.3)

Flat-Roof Snow Load (P_f) = $0.7 \times C_e \times C_t \times I \times P_g$ = 29.4 psf
Minimum Values for Low-Slope Roofs = 20 psf
Density of Snow, (D) = $0.13 \times P_g + 14.0$ = 18.55 pcf < 30 pcf
Height of Balanced Snow on Flat Roof, (H_b) = P_f/D = 1.58 ft

SLOPED-ROOF SNOW LOADS (ASCE 7.4)

Roof Slope Factor, C_s = 1
Sloped-Roof Snow Load (P_s) = $C_s \times P_f$ = 29.4 psf
Height of Balanced Snow on Sloped-Roof, (H_b) = P_s/D = 1.58 ft

DRIFTS ON LOWER ROOFS (AERODYNAMIC SHADE) (ASCE 7.7)

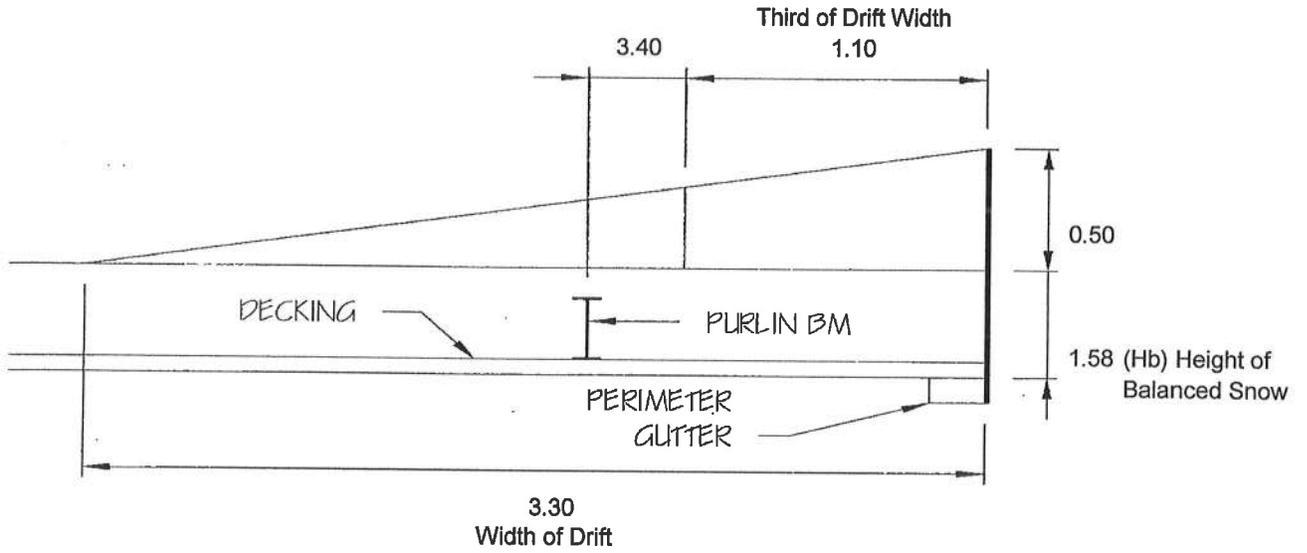
Difference in Roof Heights (H_r) = 2.08333 ft
Clear Height from top of balanced snow load, (H_c) = $H_r - H_b$ = 0.50 ft
 H_c / H_b = 0.31 > 0.2
Is Drift Load Required? Yes
Length of Upper Roof, (W_b) = 0 ft
Height of Leeward Drift (H_d) = $(0.43 \times (W_b)^{1/4}) \times (P_g + 10)^{1/4} - 1.5$ = -1.50 ft
Length of Lower Roof, (W_b) = 52 ft
Height of Windward Drift (H_d) = $0.75 (0.43 \times (W_b)^{1/4}) \times (P_g + 10)^{1/4} - 1.5$ = 1.99 ft
Controlling Drift Height = greatest of Windward and Leeward = 1.99 ft
CDW = Controlling Drift Width = Greatest of $[4 \times h_d]$ or $[4 \times ((CDH)^2 / 2)]$ = 7.94 ft
Width of the Drift (W_d) = Least of CDW or $8 \times h_c$ = 3.99 ft
Maximum Intensity of the Drift = 9.25 psf

DRIFTS ON LOWER ROOFS (AERODYNAMIC SHADE) (ASCE 7.7)

Difference in Roof Heights (H_r) = 2.08333 ft
Clear Height from top of balanced snow load, (H_c) = $H_r - H_b$ = 0.50 ft
 H_c / H_b = 0.31 > 0.2
Is Drift Load Required? Yes
Length of Upper Roof, (W_b) = 0 ft
Height of Leeward Drift (H_d) = $(0.43 \times (W_b)^{1/4}) \times (P_g + 10)^{1/4} - 1.5$ = -1.50 ft
Length of Lower Roof, (W_b) = 24 ft
Height of Windward Drift (H_d) = $0.75 (0.43 \times (W_b)^{1/4}) \times (P_g + 10)^{1/4} - 1.5$ = 1.28 ft
Controlling Drift Height = greatest of Windward and Leeward = 1.28 ft
CDW = Controlling drift Width = Greatest of $[4 \times h_d]$ or $[4 \times ((CDH)^2 / 2)]$ = 3.30 ft
Width of the Drift (W_d) = Least of CDW or $8 \times h_c$ = 3.30 ft
Maximum Intensity of the Drift = 9.25 psf

Snow Drift Design Load - continued

(All dimensions in feet)

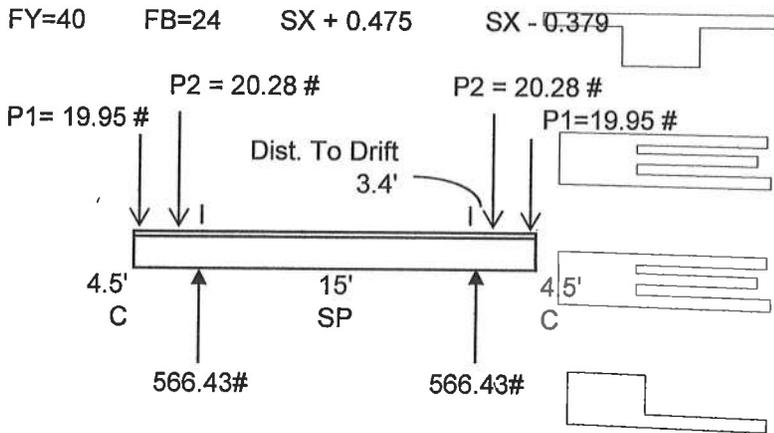


CONVERT TO APPLY TO DECK PANEL

Line load = $(0.5' * 3.3') / 2 * 18.55 \text{ pcf} =$ **15.25 plf** (Equivalent Drift Load)

Panel Calc - Balanced Diagram

Check # 360 roof panel



Snow load, Pf = 29.4 psf
 Dead load = 1 psf

Fascia Wt. = 15 plf
 Wt on Panel end, P1 = 15 plf * 1.33'
 = 19.95 #

Snow Drift line load = 15.25 plf
 Snow Drift, P2 = 15.25 plf * 1.33'
 = 20.28 #

W = Panel width * (Pf + DL + Panel wt)
 1.33' * (29.4 psf + 1 psf + 2.57 psf)
 W = 43.8501 PLF

Actual Panel Length = 24'

Reaction R = 566.43 #

Neg. Moment = ((C^2 * W) / 2) + P * C

Neg. Moment @ Overhang = 602.73' #

Positive Moment @ CL = ((R*2) * (C+SP+C-4*C) / 8 - (P) * (2*C) / 2

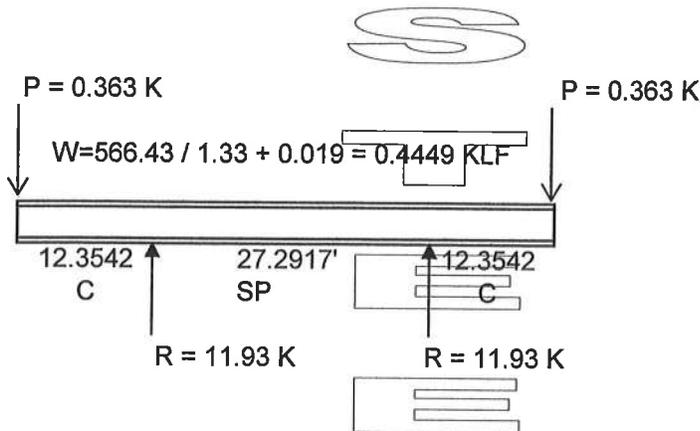
Positive Moment @ CL OF Panel = 690.9' #

Maximum Fb Allowable = 0.60 x Fy = 24 ksi (Safety Factor = 1.66)

fb = Max. Moment * 12 / SX

fb = 19084 psi < 24000 psi Therefore OK

Use # 360 Roof Panel



Try W12X19 Beam	
SX = 21.3	fy = 50 ksi
RT = 1	
LB Overhang = 16 Inches	
LB Span = 88 Inches	
L/RT = 16 in. & 88 in.	
LU = 45.6	
Span Moment F(all) = 20.65 KSI	
Neg. Moment F(all) = 33 KSI	

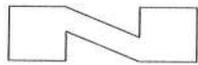
Negative moment = $[(C^2 * W) / 2] + (P * C)$
 Negative Moment @ overhang = 38.44 Ft. Kips

Positive (Span) Moment = $[R * 2] * [(C + SP + C - 4 * C) / 8] - [(2 * C * P) / 2]$
 Moment @ centerline = 3.22 Ft. Kips

Actual Bending fb = Max. Moment * 12 / SX
 Neg. fb = 21.66 KSI < 33 KSI Therefore OK
 Span fb = 1.81 KSI < 20.65 KSI Therefore OK
 Deflection is within acceptable limits per L / 240

Use W12X19 OK

With Span #CB Braces max. 88 Inches on center



Check # T1

Beam

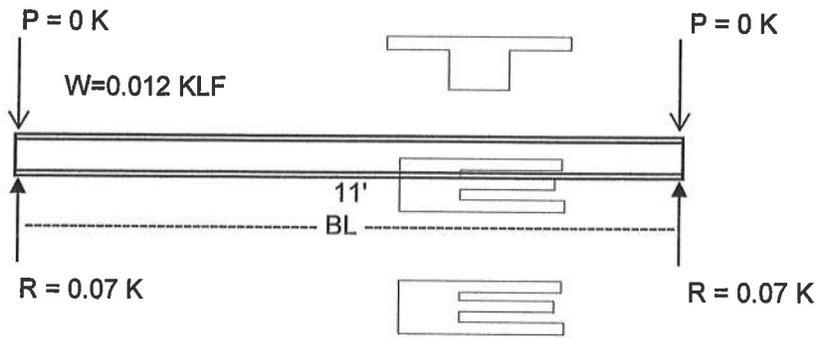


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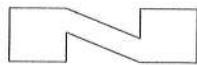
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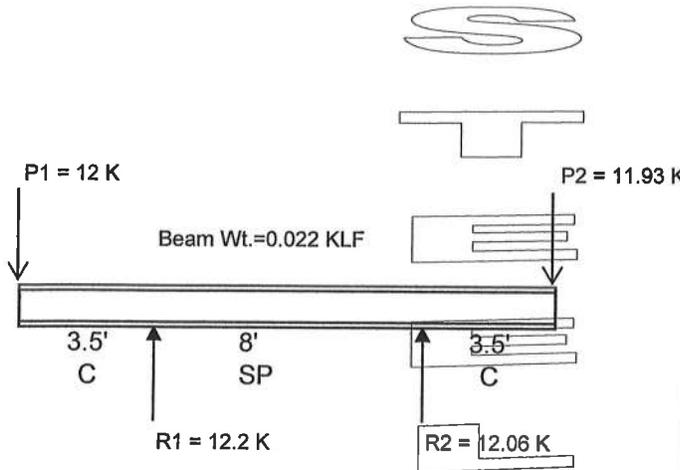
14



Deflection is within acceptable limits per $L / 240$

Use W10X12, A No Load Tie/Strut Member





Try W14X22 Beam	
SX = 29	fy = 50 ksi
RT = 1.25	
Span LB = 96 Inches	
Span L/RT = 76.8	
Cant. LB = 42 Inches	
Cant. L/RT = 33.6	
LU = 56.4 Inches	
Neg. Mom. F(all) = 33 KSI	
Span Mom. F(all) = 23.66 KSI	

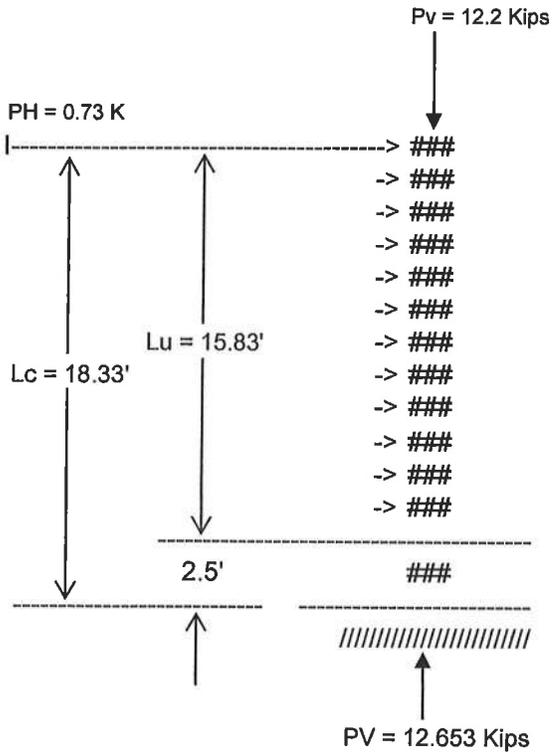
Cantilever Max. Negative moment = $[(C^2 * W) / 2] + (P1 \text{ or } P2 * C)$
 Cantilever Max. Negative Moment = 42.13 Ft. Kips

Span at Center, Moment = $[(C^2 * W) / 2] + (P1 \text{ or } P2 * C) - ((SP^2) * \text{Beam Wt} / 2)$
 Span at Center, Moment = 41.43 Ft. Kips

Cantilever Actual Bending fb = Max. Moment * 12 / SX
 Span Actual Bending fb = Span Max. Moment * 12 / SX

Cantilever fb = 17.44 KSI < 33 KSI Therefore OK
 Span fb = 17.14 KSI < 23.66 KSI Therefore OK

Use W14X22 OK



Try HSS10x10x0.1875 Tube
A500C Grade Stl.
SX = 21.6
R = 4
Fy = 50 KSI Stl.
A = 6.76 in ²
F'e = 11.27
Cmx = 0.85

Lc = Total Column Length = 18.33'
 Lu = Unbraced Length = 15.83'
 Wc = Wind on Column Face = 0.019 Kips/lf

Wind Force on Fascia, PH = (2.5' * 22.47 psf * 26') / 2 Col's = 730.28#
 Wind Mom. = ((Wc * Lu²) / 2) + (PH * Lc) = 189.24 Kip-in

$kl/r = 2.1 * 12 * 18.33 / 4 = 115.48$

Fa = 11.2 KSI

$fa = Pv / A = 12.653 / 6.76 = 1.872$

$fa/Fa = 1.872 / 11.2 = 0.167$

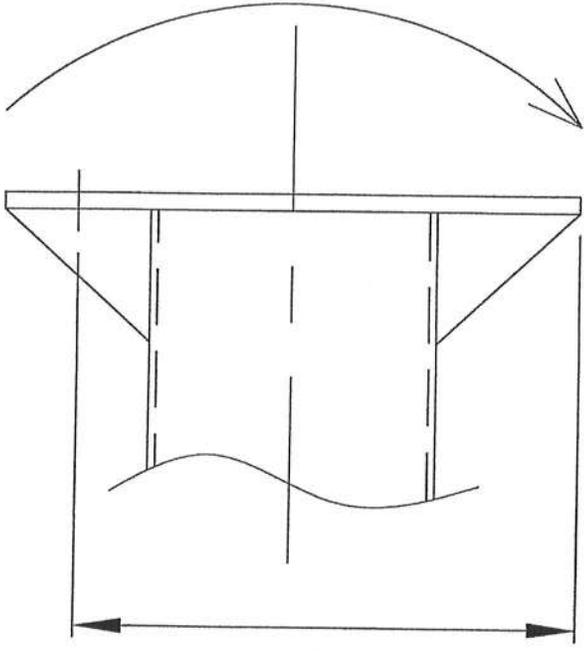
$fb = M / Sx = 8.761$ KSI

Fb = 50 KSI * 0.6 = 30 KSI

$fa/Fa + (Cmx/fb) / ((1 - (fa/F'e)) * Fb) = 0.46 \leq 1.33$ Therefore OK
 $fa/Fa + fb/Fb = 0.35 \leq 1.33$ Therefore OK

Use HSS 10x10x0.1875 A500C Grade Steel

Top Plate - #C1



14.5

Leverage Distance

From Edge of Top Plate to Center Line of Prime Bolt group
Using A325 H.S. 3/4" diameter bolts

Check Prime Bolt Group on Top Plate

$$189.24 \text{ kip-in} * 1000\# = 189240 \text{ \#-in}$$

$$189240 \text{ \#-in} / 14.5 \text{ in Leverage Dist.} = 13051 \text{ \#}$$

$$13051\# / 2 \text{ Prime Bolts in Group} = 6526 \text{ \# per bolt}$$

6526 # < 19,900 # Allowed per bolt, therefore OK

Top Plate = 11 in x 0.75 in x 16 in
with 4 total bolts, 2 prime in bolt group

Base Plate - #C1

Triangular Method (Design Guide 1 - appendix 3)

Input:

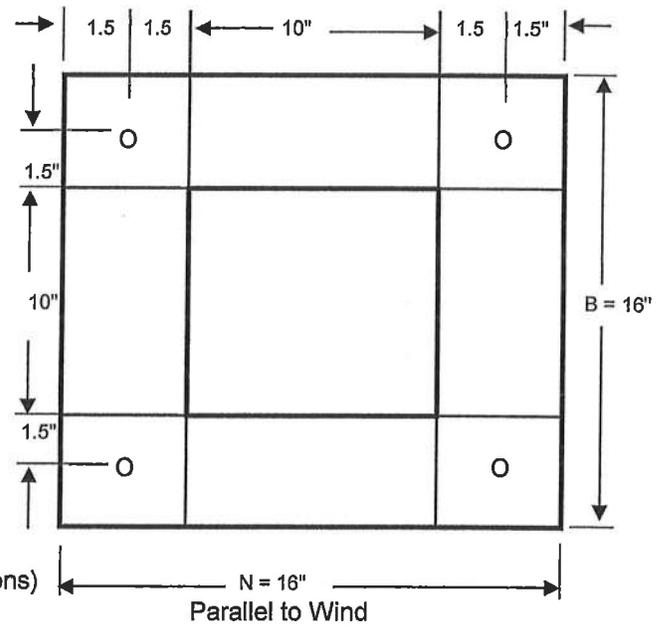
- Pa = Total column load = 12.65 K
- Ma = Wind Moment = 189.24 K"
- f'c = 4.5 Ksi
- d = Column depth = 10.00 in.
- bf = Column Width = 10.00 in.
- Fy plate = 36 ksi
- Pier Width (double N) = 32.00 in.
- Pier Length (double B) = 32.00 in.
- A₂ = Full area of concrete support = 1024.00 in²
- Omega c (ASD Reduction factor) = 2.5
- Omega b (ASD Reduction factor) = 1.67

Base Plate Size

N (selected) = 16.00 in.
B (selected) = 16.00 in.

A1 (trial) = 256 in.²

Total Anchor bolt pattern = 13 in (both directions)



Parallel to Wind

Base Plate - #C1 (continued)

Determine Plate Cantilever Dimensions

$$m = (N - 0.95d)/2 = 3.25 \text{ in.}$$

$$n = (B - 0.95b)/2 = 3.25 \text{ in.} \quad (\text{both use } 0.95 \text{ for a Square Tube})$$

$$e = Ma/Pa = 14.96 \text{ in.}$$

$$e \text{ kern} = N/6 = 2.67 \text{ in.} \quad \Rightarrow \text{Large } e$$

$$f_{pa} = (0.85 \times f_c) \times (A_2/A_1)^{1/2} / \Omega C = 3.06 \leq 1.7 f_c / \Omega C = 3.06$$

$$A' = \text{Distance between bolt and Center of Col.} = 6.50 \quad (\text{note: bolts are usually } 1.5'' \text{ from column})$$

$$N' = N = 14.50$$

Determine Bearing Length (A)

$$A = 3N' - (3N'^2 - 24(P A' + Ma) / f_{pa} B) \times 1/2 = 0.78$$

Determine Required Tension in the Anchor Bolt

$$T_a = f_{pa} AB/2 - P_a = 6.41 \text{ K}$$

$$\# \text{ of Anchors per side} = 2.00$$

$$T_{rod} = T_a / \# \text{ Anchors} = 3.21 \text{ K}$$

3.21 K < 22.1 K, Therefore OK

Dia.	Allow. Steel		Allow Conc.	
	55 ksi		4.5	ksi
3/4"	12.4	K	15.2	K
1"	22.1	K	25.2	K
1.25"	34.5	K	37.7	K

USE Total of (4) 1 inch dia. X 30 in ASTM F1554 Gr 55 Headed Anchors, (2) per side in tension

Determine Plate Thickness

$$f_{pa(m)} = f_{pa} (A-m/A) = -10.39 \text{ ksi}$$

$$M_{a \text{ pl}} = (f_{pa(m)} \times m^2)/2 + ((f_{pa} - f_{pa(m)})(m)^2)/3 = -7.51 \text{ kip-in/in} \quad (\text{due to bearing stress})$$

$$M_{a \text{ pl}} = T_{rod} (m-1.5'') / (2(m-1.5'')) = 1.60 \text{ kip-in/in} \quad (\text{due to bolt tension})$$

Controlling $M_{a \text{ pl}} = 1.60 \text{ kip-in/in}$

$$t_p = (4 * M_{a \text{ pl}} * \Omega \alpha_b / F_y)^{0.5} = 0.55 \text{ in.}$$

Adjustment for Stiffeners

$$\text{Width of Stiffeners} = 3 \text{ in.} \quad \text{Selected gussets are } 3 \times 0.25 \times 4 \text{ inch steel}$$

$$d' = d + 2 \times W_s = 16 \text{ in.}$$

$$b' = b + 2 \times W_s = 16 \text{ in.}$$

$$m = (N - 0.8d)/2 = 1.6 \text{ in.}$$

$$n = (B - 0.8b)/2 = 1.6 \text{ in.} \quad (\text{both use } 0.8 \text{ for stiffener})$$

$$S_x \text{ Ratio} = S_x \text{ plate w/ Stiffeners} / S_x \text{ Plate} = 6.85$$

Determine Plate Thickness (with stiffeners)

$$f_{pa(m)} = f_{pa} (A-m/A) = -3.90 \text{ ksi}$$

$$M_{a \text{ pl}} = (f_{pa(m)} \times m^2)/2 + ((f_{pa} - f_{pa(m)})(m)^2)/3 = 0.95 \text{ kip-in/in} \quad (\text{due to bearing stress})$$

$$M_{a \text{ pl}} = T_{rod} (m-1.5'') / (2(m-1.5'')) / S_x \text{ Ratio} = 0.23 \text{ kip-in/in} \quad (\text{due to bolt tension})$$

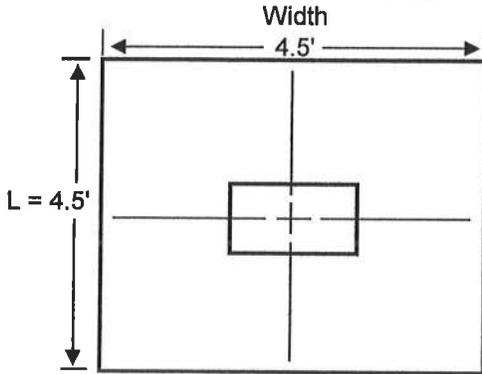
Controlling $M_{a \text{ pl}} = 0.95 \text{ kip-in/in}$

$$t_p = (4 * M_{a \text{ pl}} * \Omega \alpha_b / F_y)^{0.5} = 0.42 \text{ in.}$$

Thickness of Plate, t_p

t_p (selected) = **0.75** in.

***Check Bearing Capacity**

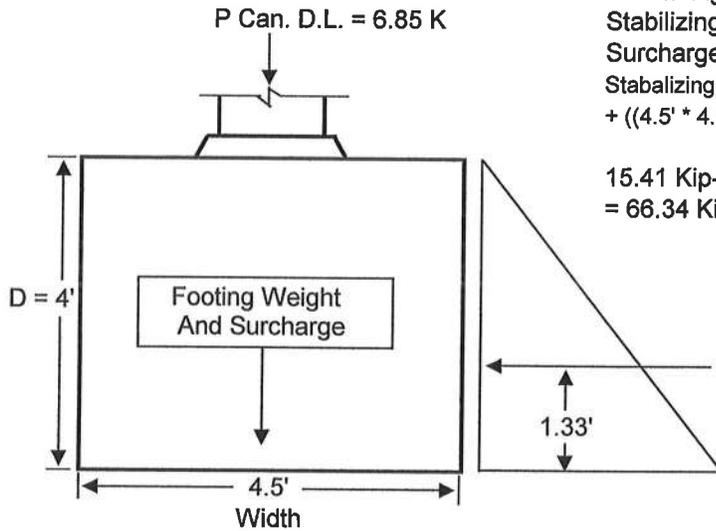


Footing Plan View

Max. Allowable Net Soil Bearing Pressure = 2000 psf (Presumed)
 Allowable Passive Soil Press. = 100 psf/ft (Presumed)
 Moment = 189.24 kip-in * 0.75 = 141.93 kip-in
 Equivalent PH = (Col. Moment / (12 in/ft)) / Col. Length
 PH = [(141.93 kip-in / (12 in/ft)) / 18.58'] * 1000 lbs/kip = 636.6 lbs

$S_x = 4.5' * 4.5'^2 / 6 = 15.2 \text{ FT}^3$
 $f_a = \text{Axial}/A = (12.653 \text{ Kips} / 20.25 \text{ sf}) * 1000 \text{ lbs/Kip} = 624.8 \text{ Psf}$
 $f_b = (636.6 \text{ lbs} * 22.58') / 15.2 \text{ cf} = 945.69 \text{ Psf}$
 $f_a + f_b = 624.8 \text{ psf} + 945.69 \text{ psf} = 1570.49 \text{ Psf} < 2000 \text{ Psf}$ Therefore OK

***Check Footing Stability**



Overturing Moment = 0.64 K * (18.58' + 4') = 14.37 Kip-Ft
 Stabilizing Moment = Net DL mom. + Footing weight mom. +
 Surcharge wt mom. + Passive Resistance mom.
 Stabilizing Moment = (6.85 K * 2.25') + ((4.5' * 4.5' * 4' * 0.15) * 2.25')
 + ((4.5' * 4.5' * 2.75' * 0.15) * 2.25') + ((4'^2) * 0.1 ksf / 2) * 4.5' * 1.33' =
 15.41 Kip-ft + 27.34 Kip-ft + 18.79 Kip-ft + 4.8 Kip-ft =
 = 66.34 Kip-Ft

Factor of Safety Against Overturning
 66.34 Kip-ft / 14.37 Kip-ft = 4.62 > 1.667 Therefore OK

$P_r = 3.6 \text{ K}$
 $P_r = ((4'^2) * 0.1 \text{ ksf/ft} / 2) * 4.5'$

Use 4.5' x 4.5' x 4' Deep Footings @ Ea. Column

***Check Rebar - Grade 60**

As required = 0.0005 * Ag, where As = Area of steel rebar, and Ag = Area of concrete footing
 Per ACI Standard for unreinforced concrete

$A_g = 4.5' * 4.5' * 144 \text{ sq ft/sq in}$ $A_g = 2916 \text{ sq in}$
 $A_s \text{ req'd} = (0.0005) * 2916 \text{ sq in}$ $A_s \text{ req'd} = 1.458 \text{ sq in}$
 Use #5 vertical rebars = 0.31 sq in 1.458 sq in / 0.31 sq in = 4.7 vert. #5 rebars

Use (8) #5 Rd. Verticals + (4) Cont. #4 Rd. Horiz. Ties

***Check 30 PSF Wind Uplift**

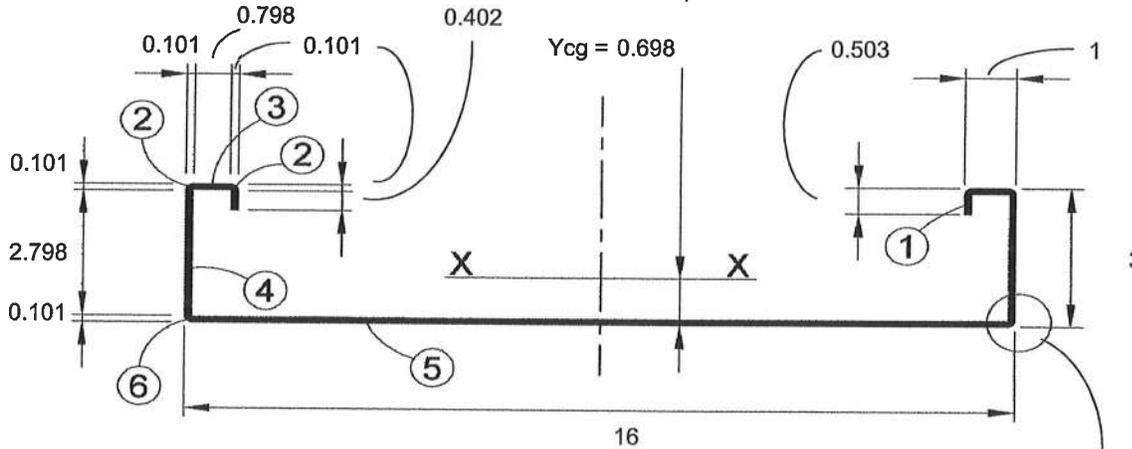
P Wind Up = 24' x 26' x 30 psf x 0.75 = 14040 # up
 ** Note: As Added Safety Factor, No Canopy Dead Load is Included in Uplift Calcs
 Footing D.L. = 4.5' x 4.5' x 6.5' x 145 Pcf x 2 Col's = 38171 # Down

**** Dead Load > Uplift ** Therefore No Uplift**

#3 6 0 Deck Panel Calculations

Material: 0.038 in 20 ga G90
 Fy = 40 ksi
 Coil Width = 24.56

20 gauge
 16" wide
 3" deep



(All values above in inches)

Corner detail

Corner Radius (R) = 0.0625 + (0.038 " Thickness / 2) = 0.0815 inches
 Length of Arc (L) = 1.57 x 0.0815 = 0.128 inches
 Distance Center of Radius to Center of Gravity of Corner, C = .637 x 0.0815 = 0.0519 inches
 I' of Corner About its own centroidal axis is negligible

0.0815
 + 0.019
 0.101
 - 0.0519
 0.0491

Element Number	Qty	Length Effective (in)	Length (in)	Y Distance From Bottom Fiber (in)	L (Y) (In ²)	L (Y) ² (In ³)
1	2	x 0.402 =	0.805	2.698	2.171	5.857
2	4	x 0.128 =	0.512	2.951	1.510	4.457
3	2	x 0.798 =	1.596	2.981	4.758	14.183
4	2	x 2.798 =	5.596	1.500	8.394	12.591
5	1	x 15.798 =	15.798	0.019	0.300	0.006
6	2	x 0.128 =	0.256	0.049	0.013	0.001
Summation			24.563	10.198	17.146	37.094

Distance of Axis From Bottom Fiber is:

Ycg = (17.146 / 24.563) = 0.698 in
 Total Area = (24.563 * 0.038) = 0.933 in²

Linear I's of Elements About their own Axis:

2 I₁ = 2 x (1/12)* (0.402)³ = 0.011
 2 I₄ = 2 x (1/12)* (2.798)³ = 3.651
 Summation L (Y²) + = 37.094
 Total above = 40.756
 Minus Summation L(Ycg)² 24.563 / (0.698)² - = 11.969
 Linear I_x = 28.787

Actual I_x = I_x t = (28.787 * 0.038) = 1.094 in⁴

Section Modulus = 1.094 / (3 in Deck Depth - 0.698) = 0.475 in³

#3 6 0 Deck Panel Calculations

Given: Steel Fy = 40 ksi

Required: Beam Strength about major axis
Positive Moment & Negative Bending

Resisting Moment Positive = $24 \text{ ksi} \times 0.475 = 11.41 \text{ in-kips}$ or 0.95 ft-kips
 Note: Top Comp. Elements 3 $w/t = 0.798 / 0.038 = 21.00 < 60$, therefore Fb of .6 Fy is Satisfactory

Determine Section Properties (Section Modulus) for load determination - Negative Bending
 Effective Width of Bott. Element 5 $w/t = 15.798 / 0.038 = 416$

$b = (253 / (\text{sq root of } 22)) * [1 - (55.3 / ((w/t) * (\text{sq root of } 22)))] * t$
 $b = (253 / (\text{sq root of } 22)) * [1 - (55.3 / (416 * (\text{sq root of } 22)))] * 0.038 = 1.992 \text{ inches}$

Element Number	Qty	Length Effective (in)	Length (in)	Y Distance From Top Fiber (in)	L (Y) (in ²)	L (Y) ² (in ³)	I' About Its own axis (in ³)
1	2	x 0.402 =	0.805	0.302	0.243	0.073	0.011
2	4	x 0.128 =	0.512	0.049	0.025	0.001	
3	2	x 0.798 =	1.596	0.019	0.030	0.001	
4	2	x 2.798 =	5.596	1.500	8.394	12.591	3.651
5	1	x 1.992 =	1.992	2.981	5.937	17.698	
6	2	x 0.128 =	0.256	2.951	0.755	2.228	
Summation			10.756	7.802	15.385	32.593	3.662

Distance of Axis From Top Fiber is:

$Y_{cg} = (15.385 / 10.756) = 1.430 \text{ in}$

Since distance of top tension fiber from neutral axis is less than 1/2 the beam depth, a compression stress of 24 ksi will govern.

Total area of section Lt = $(24.563 * 0.038) = 0.933 \text{ in}^2$

$I_x = Ly^2 + I' - Lycg^2 = 32.593 + 3.662 - 10.756 * 1.43^2 = 14.249 \text{ cubic inches}$

Actual $I_x = I' * t = 14.249 * 0.038 = 0.541 \text{ in}^4$

Section Modulus $S_x = 0.541 / 1.43 = 0.379 \text{ in}^3$

Resisting Moment Negative = $24 \text{ ksi} \times 0.379 \text{ ci} = 9.086 \text{ in-kips}$ or 0.757 ft-kips

I. DESCRIPTION AND PURPOSE

Ten drive clips were received for testing. These clips are normally used in the installation of roof panels on commercial buildings. The clip size was designated as # 3, which is commonly installed on various w-shaped beams. It was requested to determine the ultimate strength of these drive clips.

II. TESTS AND RESULTS

The fixtures and load scheme were designed to simulate the actual loading of a roof panel. Each clip was installed and welded to a 3.5 inch segment of a W8 x 10 beam. A tab welded on top of the beam was gripped by the upper crosshead of a 120,000 lb. Universal Tester. The load was applied through a 2 inch segment of reinforced L3 x 2 angle on one side of the clip. The setup is shown in Figures 1 and 2.

Each clip was numbered and pulled to failure. The maximum load was recorded for each sample, and is listed in Table 1. Maximum load values varied from 1220 to 2020 pounds, each as a result of significant deformation, and a typical failure is shown in Figure 3. Upon inspection, many of the clips exhibited cracks near the heat affected zone of the weld, and Sample 8 fractured in that location. The failure location of Sample 8 is shown in Figure 4.

III. CONCLUSIONS

The ultimate strengths of the drive clips varied from 1220 to 2020 pounds. The failure mode was significant deformation, and cracks were noted on some clips next to the weld. Sample 8 fractured along the weld.

If you have any questions concerning the contents of this report, please contact me. It should be noted that it is our policy to retain components and sample remnants for a minimum of 30 days from July 7, 2005, after which time they may be discarded. If you would like to make alternate arrangements for disposition of the material, please let me know.

Respectfully submitted,



Rob M. Evans
Mechanical Engineer

mfs

Table 1

Ultimate Strengths of Drive Clips

Sample Number	Ultimate Strength (lbs)
1	1560
2	1820
3	1780
4	1430
5	2020
6	1700
7	1630
8	1220
9	1780
10	1370



COUNTY OF KENOSHA

Department of Planning and Development

SITE PLAN REVIEW CHECKLIST

Owner: AMTUL LLC Date 10-15-2015

Mailing Address: PO Box 26 Phone # 262-862-2825
Trevor WI 53179 Phone # 630-649-3245

Agent: Asam Akhtar Phone # _____

Mailing Address: PO Box 26 Phone # _____
Trevor WI 53179

Architect/Engineer: _____ Phone # _____

Mailing Address: _____ Phone # _____

Tax Parcel Number(s): 66-4-120-273-0810 Acreage of Project: Appx. 0.5 acres

Existing Zoning: B-2 Proposed Zoning: No change

Conditional Use Permit: To operate a gas station

Description of Project: (include the following when applicable):

Description of project: Construct fueling canopy and 2 additional fuel islands w/dispensers which will have appearance of one single canopy.
The new canopy will "mirror" existing canopy and will appear to be attached on the West edge.

Size of existing building(s): Existing canopy size 52' x 24' Parallelogram

Size of new building(s) and/or addition(s): New canopy addition 52' x 24' Parallelogram

Number of current and projected full-time and part-time employees, number of shifts: 2-3 SHIFTS
5-6 EMPLOYEES PRESENTLY

Number of proposed units: 1 Description of units: FUEL CANOPY ADDITION

Density: N/A

Plat of Survey Submitted:

Covenants and Restrictions Submitted

A. BUILDING PLANS SUBMITTED? (BUILDING APPEARANCE)

- No building shall be permitted the design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.
- No building shall be permitted the design or exterior appearance of which is so identical with those adjoining as to create excessive monotony or drabness.
- No building shall be permitted where any exposed facade is not constructed or faced with a finished material which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.
- Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.
- Building Rooflines and Roof Shapes. The visual continuity of roofs and their contributing elements (parapet walls, coping, and cornices) shall be maintained in building development and redevelopment.
- Since the selection of building colors has a significant impact upon the public and neighboring properties, color shall be selected in general harmony with existing neighborhood buildings.
- No building or sign shall be permitted to be sited on the property in a manner which would unnecessarily destroy or substantially damage the natural beauty of the area, particularly insofar as it would adversely affect values incident to ownership of land in that area, or which would unnecessarily have an adverse effect on the beauty and general enjoyment of existing structures on adjoining properties.
- The facade of all buildings which face upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing an existing or future street shall be finished with a combination of brick, decorative masonry material, decorative pre-cast concrete panels, decorative glass panels, wood, or decorative metal or vinyl siding. Such finished material shall extend for a distance of at least 10 feet along the sides of the structure. All buildings on corner lots shall have the required finished facade facing each street.

B. SITE PLAN SUBMITTED?

- Building locations shall maintain required setbacks from property lines and road rights-of-way.
- Buildings and uses shall provide for safe traffic circulation and safe driveway locations.
- Buildings and uses shall be provided with adequate public services as approved by the appropriate utility.

**SITE PLAN REVIEW
CHECKLIST**

- Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead doors shall face upon a street right-of-way without approval of the Planning and Zoning Administrator.
- Parking areas shall maintain required setbacks and parking spaces shall be of minimum required size (10' x 20'). Aisle widths within parking lots shall be a minimum of 24' between the ends of the parking spaces.
- Each parking space shall be on the same lot or parcel as the principal use, and all parking lots shall have the same zoning district as the principal use. Parking spaces and driveways shall be a minimum of 20 feet from the established highway right-of-way and a minimum of 10 feet from all rear and side lot lines. Curbs or barriers shall be installed so as to prevent vehicles from extending beyond designated parking or driving areas.
- Parking areas for five or more vehicles adjoining a residential use, shall be screened from such use by a solid wall, fence, evergreen planting of equivalent visual density or other effective means, and built and maintained at a minimum height of four feet at the time of planting or installation.
- Adequate access to a public or private roadway shall be provided for each parking space. For all non-residential properties, driveways for vehicular ingress and egress shall be a minimum of 10 feet in width and not exceed 35 feet in width at the property line.
- All off-street parking of more than five vehicles shall be graded and surfaced with asphalt or concrete.
- C. LANDSCAPING AND LIGHTING PLAN SUBMITTED?
 - Buildings and uses shall make appropriate use of open spaces. The Zoning Administrator or Land Use Committee may require appropriate landscaping and planting screens. A landscaping maintenance program, together with appropriate assurances, shall be submitted.
 - Dumpsters and other trash receptacles shall be fenced and/or screened from view from street rights-of-way and adjacent residential uses.
 - Exterior lighting used for parking lots, recreation facilities, product display, and security shall not spill-over on operators of motor vehicles, pedestrians, and/or adjacent residential property (cut-off type luminaries only).
 - Appropriate buffers shall be provided between dissimilar uses.
- D. SEWER VERIFICATION/SANITATION EVALUATION OR APPLICATION SUBMITTED?
- E. UTILITY PLANS SUBMITTED?

F. STORMWATER DRAINAGE AND EROSION CONTROL PLAN SUBMITTED?

- Appropriate erosion control and stormwater management measures shall be utilized in all new development. Buildings and uses shall maintain existing topography, drainage patterns, and vegetative cover insofar as is practical. The Zoning Administrator or Land Use Committee may require that drainage easements be executed.

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center	
Department of Planning & Development	
19600 - 75 th Street, Post Office Box 520	
Bristol, Wisconsin 53104-0520	
Division of County Development (including Sanitation & Land Conservation).....	857-1895
Facsimile #.....	857-1920
Public Works Division of Highways	857-1870
Administration Building	
Division of Land Information.....	653-2622
Brighton, Town of	878-2218
Paris, Town of	859-3006
Randall, Town of.....	877-2165
Salem, Town of	843-2313
Utility District.....	862-2371
Somers Town of	859-2822
Wheatland, Town of.....	537-4340
Wisconsin Department of Natural Resources - Sturtevant Office	884-2300
Wisconsin Department of Transportation - Waukesha Office	548-8722

CONDITIONAL USE SITE MAP

PETITIONER(S):

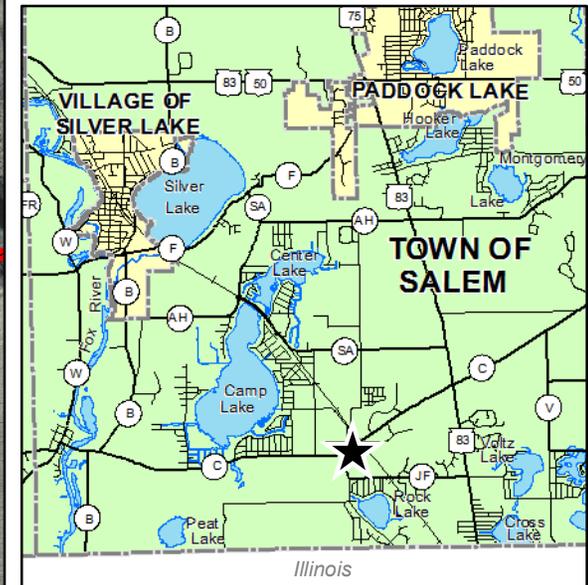
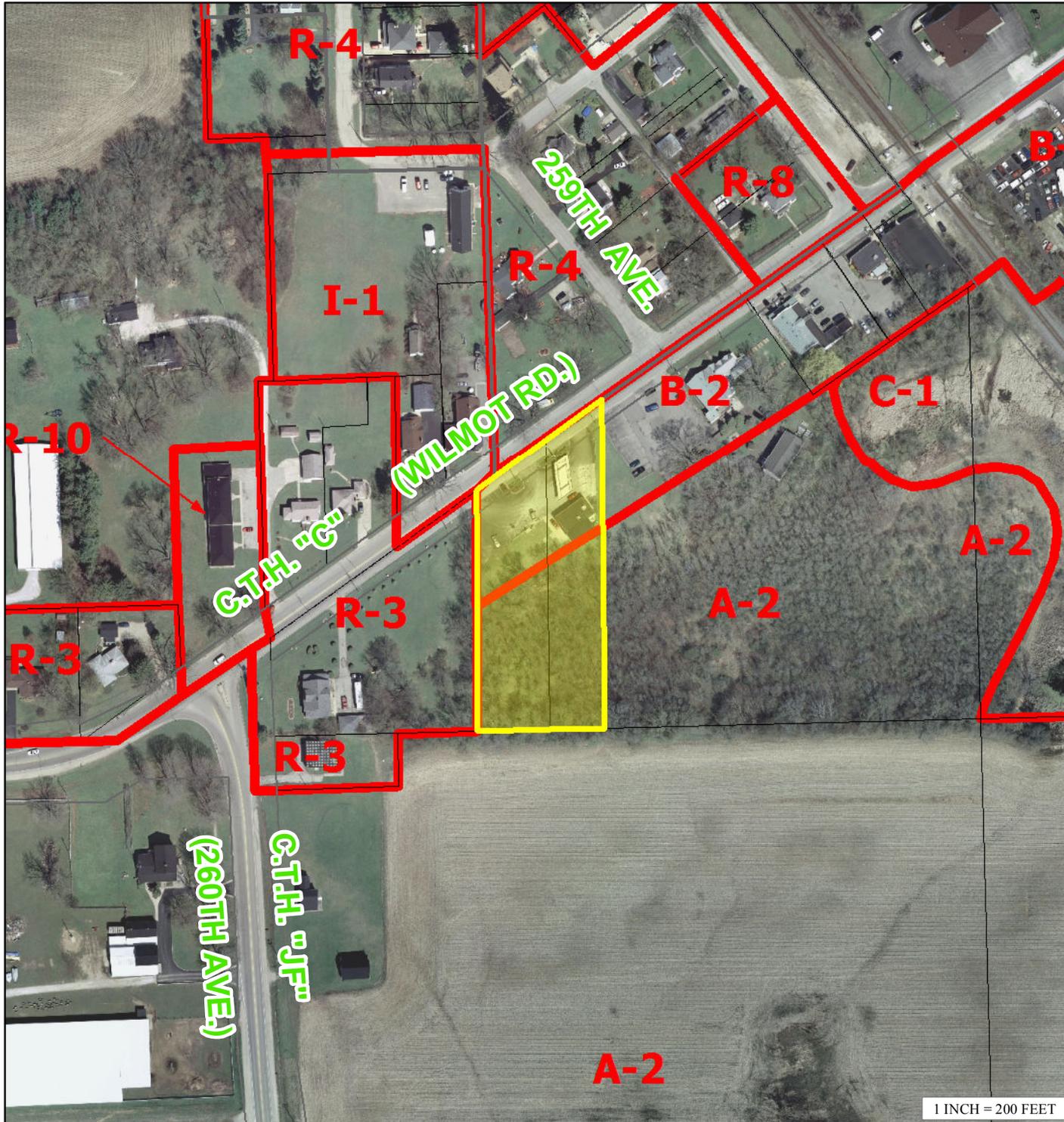
Amtul LLC (Owner), Dan McMahon,
Interstate Pump & Tank (Agent)

LOCATION: SW 1/4 of Section 27,
Town of Salem

TAX PARCEL(S): #66-4-120-273-0810

REQUEST:

Requesting a conditional use permit to allow
an expansion of an existing gasoline service
station in the B-2 Community Business District.



RECEIVED

FEB 29 2016

Kenosha County
Planning and Development

Woodhaven Meadows, LLC

RECEIVED

FEB 29 2016

Kenosha County
Deputy County Clerk

February 29, 2016

Mr. Ben Fiebelkorn
Kenosha County Department of Planning & Development
19600 75th Street
Bristol, WI 53104

Sent via e-mail: Benjamin.Fiebelkorn@kenoshacounty.org

Re: Woodhaven Meadows Affidavit of Correction

Dear Mr. Fiebelkorn:

Please allow this letter to serve as a formal request for approval of an Affidavit of Correction to the Woodhaven Meadows final plat by Kenosha County. Attached you will find a copy of the correction instrument. During the original planning for the subdivision, the plat map was labeled that all building envelopes shall comply with setbacks of 25' side yard setbacks, 50' street setbacks, and 50' rear yard setbacks. The 50' rear setback is an error. The subdivision restrictive covenants, which were reviewed and approved by the Town of Salem and Kenosha County, allow for a 25' rear yard setback within the subdivision. Also, as we discussed, Section 12.26-6(g)2 of the zoning code's Rural Cluster development standards allows for rear yard setback distance to be 25'. As such, the 25' rear setback is consistent with the zoning within the subdivision. In accordance with those items, we are seeking Kenosha County's approval of the Affidavit of Correction to correct the rear yard setback so that the plat map will be consistent with the approved restrictive covenants for the subdivision.

Please do not hesitate to contact me with any questions you might have related to this matter.

Sincerely,



Kevin J. Deaton, Managing Member
Woodhaven Meadows, LLC

AFFIDAVIT OF CORRECTION

THIS FORM IS INTENDED TO CORRECT SCRIVENERS ERRORS

This form should not be used for the following Purposes without the notarized signatures of the Grantor/Grantee:

- *Altering boundary lines
- *Adding property
- *Altering title/ownership
- * Deleting property

AFFIANT, Jeffrey K. Rampart, Wis. Registered Land Surveyor, hereby swears or affirms that a certain document which was titled as follows: Woodhaven Meadows (subdivision) (type of document),

Recorded on the 24th day of March, 2006 in volume _____ page _____, as document number 1473741

And was recorded in Kenosha County, State of Wisconsin,

Contained the following error (if more space is needed, please attach addendum):

Whereas: Area labeled on Sheet One notes: "All building envelopes shall comply with setbacks ad: 25 ft. side, 50 ft. street, 50 ft. rear. NOTE: The 50 ft. rear yard is in ERROR

The correction is as follows (if more space is needed please attach an addendum):

Whereas: This Affidavit of Correction is to correct the rear yard setback; Whereas: The rear yard setback is hereby corrected to read as follows: 25 ft. rear yard setback

Return to: Jeffrey K. Rampart
J.K.R. Surveying, Inc.
8121 22nd Avenue
Kenosha, WI 53143

Parcel Identification number (s):
65-4-120-134-0207, 0208,
0209, 0222 thru 0245 and
66-4-120-241-0201 thru
0206, 0210 thru 0221

A complete original or copy of the original document should be attached

Dated this 9 day of February, 2016

[Signature]
 Affiant's Signature (type name below)

* Jeffrey K. Rampart

Grantee's Signature (type name below)

* _____

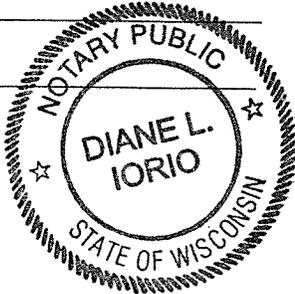
[Signature]
 Grantor's Signature (type name below)

* KEVIN J. DEATON, Managing Member
Woodhaven Meadows LLC

Grantee's Signature (type name below)

* _____

Grantor's Signature (type name below)



ACKNOWLEDGEMENT

STATE OF WISCONSIN }
 } ss.

Kenosha County }

Subscribed and sworn to (or affirmed) before me

This 9 day of February

[Signature]
Diane L. Iorio

Notary Public, State of Wisconsin

My commission is permanent. (if not, state expiration date:

12/12/2017)

Drafted by: Jeffrey K. Rampart

Wis. Registered Land Surveyor

Names of Persons signing in any capacity must be typed or printed below their signature.

Optional. NOT mandatory form. Use at your Own Risk. Consult an Attorney before signing."

LEGAL DESCRIPTION:

Lots 1, 2, 3, 4, 6, 7, 8, 9, 10, 11, 12, 13, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44 and 45, and Outlots 1, 2, 3, 4, 5, 6 and 7, in Woodhaven Meadows, being a subdivision of part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southeast 1/4 of Section 13, and the Northeast 1/4, Southeast 1/4 and Northwest 1/4 of the Northeast 1/4 of Section 24, all in Town 1 North, Range 20 East of the Fourth Principal Meridian, lying and being in the Town of Salem, County of Kenosha and State of Wisconsin.

Tax Key Nos:

66-4-120-241-0201	65-4-120-134-0228
66-4-120-241-0202	65-4-120-134-0229
66-4-120-241-0203	65-4-120-134-0230
66-4-120-241-0204	65-4-120-134-0231
66-4-120-241-0206	65-4-120-134-0232
65-4-120-134-0207	65-4-120-134-0233
65-4-120-134-0208	65-4-120-137-0234
65-4-120-134-0209	65-4-120-134-0235
66-4-120-241-0210	65-4-120-134-0236
66-4-120-241-0211	65-4-120-134-0237
66-4-120-241-0212	65-4-120-134-0238
66-4-120-241-0213	65-4-120-134-0239
66-4-120-241-0215	65-4-120-134-0240
66-4-120-241-0216	65-4-120-134-0241
66-4-120-241-0217	65-4-120-134-0242
66-4-120-241-0218	66-4-120-241-0243
66-4-120-241-0219	65-4-120-134-0244
66-4-120-241-0220	65-4-120-134-0245
66-4-120-241-0221	65-4-120-134-0256
65-4-120-134-0222	65-4-120-134-0247
65-4-120-134-0223	65-4-120-134-0248
65-4-120-134-0224	65-4-120-134-0249
65-4-120-134-0225	65-4-120-134-0250
65-4-120-134-0226	65-4-120-134-0251
65-4-120-134-0227	65-4-120-134-0252

HAVEN MEADOWS

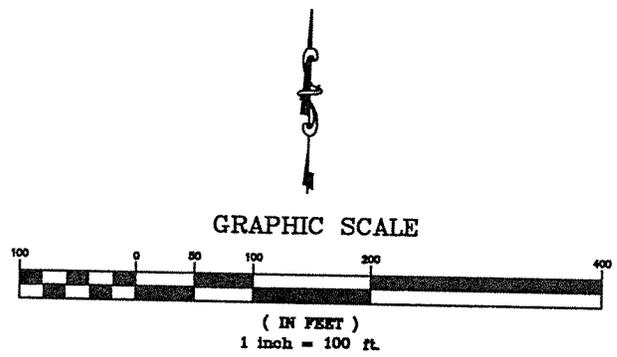
1/4 & NW1/4 of SE 1/4 of Section 13
 1/4 & NW1/4 of NE1/4 of Section 24,
 North, Range 20 East in
 ALEM, KENOSHA COUNTY, WIS.

There are no objections to this plat with respect to Secs. 236.15, 236.20 and 236.21 (1) and (2), Wisconsin State Statutes.

Certified _____, 20__

DEPARTMENT OF ADMINISTRATION

OWNER
 Woodhaven Meadows Properties, LLC
 14000 Rockland Road
 Libertyville, IL 60048
 phone 847-680-9897



SITE DATA
 Total Site = 225.00 Acres
 Developed Area = 57.31 Acres (25.5%)
 Area of Woods = 69.90 Acres
 Area of Lots within woods = 13.866 Acres (19.8%)
 Common Open Space = 167.69 Acres (74.5%)
 Wetland Areas = 10.62 Acres
 Total Lots = 45 Lots & 7 Outlots

ZONING
 Existing zoning = A-1, C-1 & C-2
 Proposed zoning = RC Rural Cluster Development Overlay District with the following underlying districts: R-1, C-1, C-2 & A-2
 Residential = (one unit per lot)

CONSTRUCTION NOTE:
 Construction shall comply with Natural Resource Protection Plan. (see Restrictions)

TE: Maximum permissible build-footprint to be % of lot area.

PLAT NOTES:
 All distances measured and computed to the nearest 0.01'
 All angles computed to the nearest 00'00.5" and measured to the nearest 00'00'01"
 S.F. = Denotes lot areas to the nearest square foot
 All bearings refer to Grid North of the Wisconsin State Plane Coordinate System, South Zone. The East line of the Northeast Quarter of Section 24-1-20, has a bearing of N01°29'27" per N.A.D. 1927.

RESTRICTIONS

Any further land divisions shall be prohibited within this Subdivision.

This Plat is designed solely for single-family development.

There shall be no moving of existing homes or structures into the Subdivision.

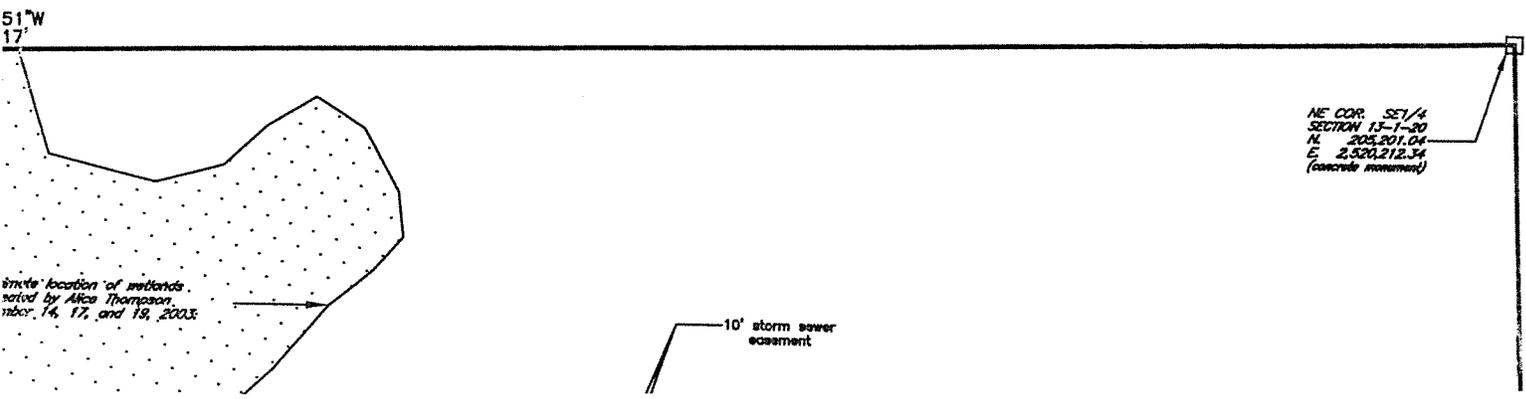
All building envelopes shall comply with the following setbacks: 25 ft. side yard; 50 ft. street yard and 50 ft. rear yard setbacks. The maximum permissible building footprint to be no greater than 15% of the lot area.

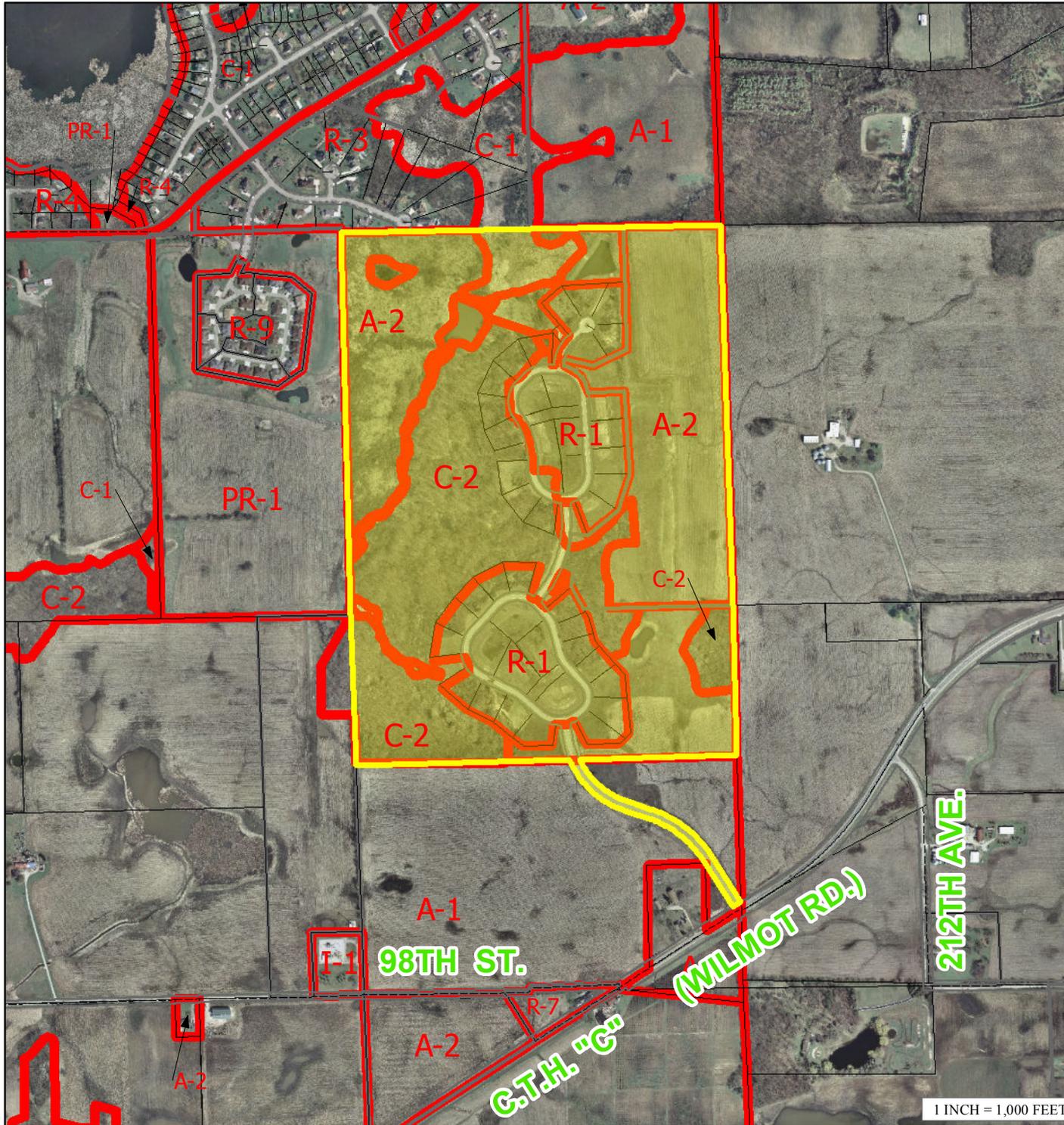
No more than 20% of a single wooded lot can be cleared for the construction of a dwelling, driveway, garage, storage building or well.

WELL LOCATIONS: In order to maintain at least a 50 foot setback from the center line of all sanitary sewer lines; all wells must be located at a distance of at least or more than 30 feet from all front lot lines.

NOTE - SEE DEDICATED EASEMENTS
 12' Utility Easement = _____
 40' x 40' Utility Easement Area = □

unplatted





FINAL PLAT AMENDMENT SITE MAP

PETITIONER(S):
Woodhaven Meadows, LLC, (Agent)

LOCATION: SE 1/4 of Section 13 & NE 1/4 of Section 24, Town of Salem

TAX PARCEL(S):
#65-4-120-134-0207 through #65-4-120-134-0209,
#65-4-120-134-0222 through #65-4-120-134-0245,
#66-4-120-241-0201 through #66-4-120-241-0206,
#66-4-120-241-0210 through #66-4-120-241-0221.

REQUEST:
Requesting Amendment of Final Plat of Woodhaven Meadows Subdivision, to reduce the rear yard setback to 25' from 50' on lots 1 – 45.





COUNTY OF KENOSHA

Department of Planning and Development



REZONING PROCEDURES



KENOSHA COUNTY

DEPARTMENT OF PLANNING
AND DEVELOPMENT



COUNTY OF KENOSHA

Department of Planning & Development

KENOSHA COUNTY REZONING PROCEDURES

1. Contact the Department of Planning & Development and check with staff to determine if your proposed zoning change meets the requirements for the Kenosha County General Zoning and Shoreland/Floodplain Zoning Ordinance and the Kenosha County Subdivision Control Ordinance. Note: If the proposed rezoning is part of a proposed land division see the Certified Survey Map Information and Procedures.
2. Contact the Department of Planning & Development and schedule a pre-conference meeting, which is required for all rezoning requests.
Meeting Date: October 26, 2015
3. Contact your local Town to determine if your rezoning petition requires preliminary approval.
4. Complete and submit the Kenosha County Rezoning Application by the filing deadline (see Planning, Development & Extension Education Committee Schedule handout).
6. Submit a copy of the date-stamped application to your local township for placement on the agenda of the Town Planning Commission and Town Board, which recommends action to the County Planning, Development & Extension Education Committee. Keep a copy for your records.
7. Attend the Town Planning Commission and the Town Board meetings. **NOTE:** You must attend or the Town will not be able to act on your request.
Town Planning Commission meeting date (tentative): _____
Town Board meeting date (tentative): _____
8. Attend the Planning, Development & Extension Education Committee public hearing. **NOTE:** You must attend or the Planning, Development & Extension Education Committee will not be able to act on your request. At this meeting you will be asked to brief the Committee on your request.
Kenosha County Planning, Development & Extension Education Committee meeting date: _____
(tentative)
9. Planning, Development & Extension Education Committee recommends either approval and adopts a resolution or denial and transmits recommendation to the Kenosha County Board of Supervisors. No action is required from the applicant at this time.
If approved, County Board of Supervisors either approves or denies the amendment.
If denied by the Kenosha County Board of Supervisors you have thirty (30) days to file an appeal with circuit court if you so choose.
10. After the County Executive has signed the official ordinance document amending the Kenosha County Zoning Map, you will be notified of your approval in writing. Upon notification of approval, you may proceed with recording any necessary deeds.

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center
 Department of Planning & Development
 19600 - 75th Street, Suite 185-3
 Bristol, Wisconsin 53104-9772

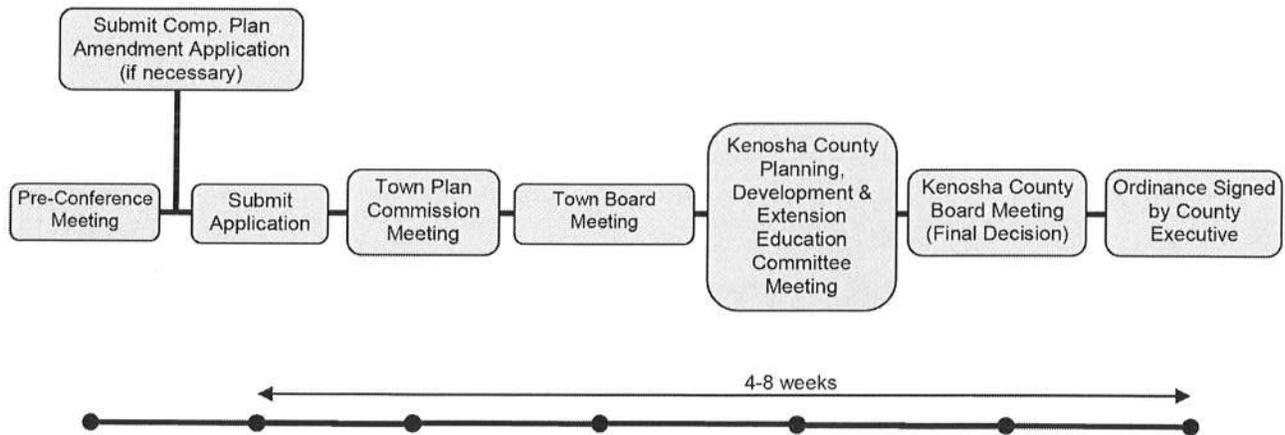
Division of Planning & Development (including Sanitation & Land Conservation)..... **857-1895**
 Facsimile #..... **857-1920**

Public Works Division of Highways **857-1870**

Administration Building
 Division of Land Information..... **653-2622**

Brighton, Town of **878-2218**
 Paris, Town of **859-3006**
 Randall, Town of **877-2165**
 Salem, Town of **843-2313**
 Utility District **862-2371**
 Somers Town of **859-2822**
 Wheatland, Town of **537-4340**
 Wisconsin Department of Natural Resources - Sturtevant Office **884-2300**
 Wisconsin Department of Transportation - Waukesha Office **548-8722**

Rezoning Procedure Timeline



For Reference Purposes

RECEIVED

JAN 15 2016

May 2013
RECEIVED



COUNTY OF KENOSHA
Kenosha County
Department of Planning and Development

JAN 15 2015

Kenosha County
Deputy County Clerk

REZONING APPLICATION

(a) Property Owner's Name: (owner of 65-4-120-011-0102, 0103, 0105 through 0111)
Mills Enterprises, LLC
 Print Name: Stephen C. Mills Signature: [Signature]
 Mailing Address: 4015 80th Street
 City: Kenosha State: WI Zip: 53142
 Phone Number: (262) 842-0556 E-mail (optional): _____

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status **signed** by the legal property owner **must** be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):
 Print Name: Daniel Szczep Signature: [Signature]
 Business Name: Bear Development
 Mailing Address: 4011 80th Street
 City: Kenosha State: WI Zip: 53142
 Phone Number: (262) 842-0556 E-mail (optional): dau@beardevelopment.com

(c) Tax key number(s) of property to be rezoned:
6541200440101 thru 6541200440111

Property Address of property to be rezoned:
The Reserve

(d) Proposed use (a statement of the type, extent, area, etc. of any development project):
The owners propose to rezone the property in order to create fee simple lots rather than condominium units. The use of the property will not change from Single Family Residential and Conservancy.



COUNTY OF KENOSHA

Department of Planning and Development

REZONING APPLICATION

(a) Property Owner's Name: (Owner of 65-4-120-044-0104)
Craig and Laura Baumgardner
 Print Name: _____ Signature: [Signature]
 Mailing Address: 37015 N. Fernview Lane
 City: Lake Villa State: IL Zip: 60046
 Phone Number: (224) 723-9256 E-mail (optional): _____

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status **signed** by the legal property owner **must** be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):
 Print Name: Daniel Szczup Signature: [Signature]
 Business Name: Bear Development
 Mailing Address: 4011 80th Street
 City: Kenosha, State: WI Zip: 53142
 Phone Number: (262) 842-0556 E-mail (optional): dan@beardevelopment.com

(c) Tax key number(s) of property to be rezoned:
6541200440101 thru 6541200440111

Property Address of property to be rezoned:
The Reserve

(d) Proposed use (a statement of the type, extent, area, etc. of any development project):
The owners propose to rezone the property in order to create fee simple lots rather than condominium units. The use of the property will not change from Single Family Residential and conservancy.



COUNTY OF KENOSHA

Department of Planning and Development

REZONING APPLICATION

(a) Property Owner's Name: (Owner of 65-4-120-044-0101)
Stephen C. Mills
 Print Name: Stephen C. Mills Signature: [Signature]
 Mailing Address: 4015 80th Street
 City: Kenosha State: WI Zip: 53142
 Phone Number: (262) 842-0556 E-mail (optional): _____

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status **signed** by the legal property owner **must** be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):
 Print Name: Daniel Szuzup Signature: [Signature]
 Business Name: Bear Development
 Mailing Address: 4011 80th Street
 City: Kenosha State: WI Zip: 53142
 Phone Number: (262) 842-0556 E-mail (optional): dah@beardevelopment.com

(c) Tax key number(s) of property to be rezoned:
6541200440101 thru 6541200440111

Property Address of property to be rezoned:
The Reserve

(d) Proposed use (a statement of the type, extent, area, etc. of any development project):
The owners propose to rezone the property in order to create fee simple lots rather than condominium units. The use of the property will not change from Single Family Residential and conservancy.

REZONING APPLICATION

(e) Check the box next to any and all of the existing zoning district classifications present on the subject property:

<input type="checkbox"/> A-1 Agricultural Preservation District	<input type="checkbox"/> TCO Town Center Overlay District
<input type="checkbox"/> A-2 General Agricultural District	<input type="checkbox"/> B-1 Neighborhood Business District
<input type="checkbox"/> A-3 Agricultural Related Manufacturing, Warehousing and Marketing District	<input type="checkbox"/> B-2 Community Business District
<input type="checkbox"/> A-4 Agricultural Land Holding District	<input type="checkbox"/> B-3 Highway Business District
<input type="checkbox"/> AE-1 Agricultural Equestrian Cluster Single-Family District	<input type="checkbox"/> B-4 Planned Business District
<input type="checkbox"/> R-1 Rural Residential District	<input type="checkbox"/> B-5 Wholesale Trade and Warehousing District
<input type="checkbox"/> R-2 Suburban Single-Family Residential District	<input type="checkbox"/> BP-1 Business Park District
<input type="checkbox"/> R-3 Urban Single-Family Residential District	<input type="checkbox"/> B-94 Interstate Highway 94 Special Use Business District
<input type="checkbox"/> R-4 Urban Single-Family Residential District	<input type="checkbox"/> M-1 Limited Manufacturing District
<input type="checkbox"/> R-5 Urban Single-Family Residential District	<input type="checkbox"/> M-2 Heavy Manufacturing District
<input type="checkbox"/> R-6 Urban Single-Family Residential District	<input type="checkbox"/> M-3 Mineral Extraction District
<input type="checkbox"/> R-7 Suburban Two-Family and Three-Family Residential District	<input type="checkbox"/> M-4 Sanitary Landfill and Hazardous Waste Disposal District
<input type="checkbox"/> R-8 Urban Two-Family Residential District	<input type="checkbox"/> I-1 Institutional District
<input type="checkbox"/> R-9 Multiple-Family Residential District	<input type="checkbox"/> PR-1 Park-Recreational District
<input type="checkbox"/> R-10 Multiple-Family Residential District	<input checked="" type="checkbox"/> C-1 Lowland Resource Conservancy District
<input type="checkbox"/> R-11 Multiple-Family Residential District	<input checked="" type="checkbox"/> C-2 Upland Resource Conservancy District
<input type="checkbox"/> R-12 Mobile Home/Manufactured Home Park-Subdivision District	<input type="checkbox"/> FPO Floodplain Overlay District
<input type="checkbox"/> HO Historical Overlay District	<input type="checkbox"/> FWO Camp Lake/Center Lake Floodway Overlay District
<input checked="" type="checkbox"/> PUD Planned Unit Development Overlay District	<input type="checkbox"/> FFO Camp Lake/Center Lake Floodplain Fringe Overlay District
<input type="checkbox"/> AO Airport Overlay District	
<input type="checkbox"/> RC Rural Cluster Development Overlay District	

(f) Check the box next to any and all of the proposed zoning district classifications proposed for the subject property:

<input type="checkbox"/> A-1 Agricultural Preservation District	<input type="checkbox"/> TCO Town Center Overlay District
<input type="checkbox"/> A-2 General Agricultural District	<input type="checkbox"/> B-1 Neighborhood Business District
<input type="checkbox"/> A-3 Agricultural Related Manufacturing, Warehousing and Marketing District	<input type="checkbox"/> B-2 Community Business District
<input type="checkbox"/> A-4 Agricultural Land Holding District	<input type="checkbox"/> B-3 Highway Business District
<input type="checkbox"/> AE-1 Agricultural Equestrian Cluster Single-Family District	<input type="checkbox"/> B-4 Planned Business District
<input type="checkbox"/> R-1 Rural Residential District	<input type="checkbox"/> B-5 Wholesale Trade and Warehousing District
<input type="checkbox"/> R-2 Suburban Single-Family Residential District	<input type="checkbox"/> BP-1 Business Park District
<input type="checkbox"/> R-3 Urban Single-Family Residential District	<input type="checkbox"/> B-94 Interstate Highway 94 Special Use Business District
<input type="checkbox"/> R-4 Urban Single-Family Residential District	<input type="checkbox"/> M-1 Limited Manufacturing District
<input type="checkbox"/> R-5 Urban Single-Family Residential District	<input type="checkbox"/> M-2 Heavy Manufacturing District
<input type="checkbox"/> R-6 Urban Single-Family Residential District	<input type="checkbox"/> M-3 Mineral Extraction District
<input type="checkbox"/> R-7 Suburban Two-Family and Three-Family Residential District	<input type="checkbox"/> M-4 Sanitary Landfill and Hazardous Waste Disposal District
<input type="checkbox"/> R-8 Urban Two-Family Residential District	<input type="checkbox"/> I-1 Institutional District
<input type="checkbox"/> R-9 Multiple-Family Residential District	<input type="checkbox"/> PR-1 Park-Recreational District
<input type="checkbox"/> R-10 Multiple-Family Residential District	<input checked="" type="checkbox"/> C-1 Lowland Resource Conservancy District
<input type="checkbox"/> R-11 Multiple-Family Residential District	<input checked="" type="checkbox"/> C-2 Upland Resource Conservancy District
<input type="checkbox"/> R-12 Mobile Home/Manufactured Home Park-Subdivision District	<input type="checkbox"/> FPO Floodplain Overlay District
<input type="checkbox"/> HO Historical Overlay District	<input type="checkbox"/> FWO Camp Lake/Center Lake Floodway Overlay District
<input checked="" type="checkbox"/> PUD Planned Unit Development Overlay District	<input type="checkbox"/> FFO Camp Lake/Center Lake Floodplain Fringe Overlay District
<input type="checkbox"/> AO Airport Overlay District	
<input type="checkbox"/> RC Rural Cluster Development Overlay District	

REZONING APPLICATION

(g) Your request must be consistent with the existing planned land use category as shown on Map 65 of the adopted "Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035".

The existing planned land use category for the subject property is:

<input type="checkbox"/> Farmland Protection	<input type="checkbox"/> Governmental and Institutional
<input type="checkbox"/> General Agricultural and Open Land	<input type="checkbox"/> Park and Recreational
<input checked="" type="checkbox"/> Rural-Density Residential	<input type="checkbox"/> Street and Highway Right-of-Way
<input type="checkbox"/> Agricultural and Rural Density Residential	<input type="checkbox"/> Other Transportation, Communication, and Utility
<input type="checkbox"/> Suburban-Density Residential	<input type="checkbox"/> Extractive
<input type="checkbox"/> Medium-Density Residential	<input type="checkbox"/> Landfill
<input type="checkbox"/> High-Density Residential	<input checked="" type="checkbox"/> Primary Environmental Corridor
<input type="checkbox"/> Mixed Use	<input type="checkbox"/> Secondary Environmental Corridor
<input type="checkbox"/> Commercial	<input type="checkbox"/> Isolated Natural Resource Area
<input type="checkbox"/> Office/Professional Services	<input checked="" type="checkbox"/> Other Conservancy Land to be Preserved
<input type="checkbox"/> Industrial	<input type="checkbox"/> Nonfarmed Wetland
<input type="checkbox"/> Business/Industrial Park	<input checked="" type="checkbox"/> Surface Water

(h) Attach a plot plan or survey plat of property to be rezoned (showing location, dimensions, zoning of adjacent properties, existing uses and buildings of adjacent properties, floodways and floodplains)—drawn to scale.

(i) The Kenosha County Department of Planning and Development may ask for additional information.

(j) The name of the County Supervisor of the district wherein the property is located (District Map):

Supervisory District Number: 20 County Board Supervisor: John Poole

(k) The fee specified in Section 12.05-8 of this ordinance.

Request for Rezoning Petition\$750.00

(For other fees see the Fee Schedule)

Note: Agricultural Use Conversion Charge

The use value assessment system values agricultural land based on the income that would be generated from its rental for agricultural use rather than its fair market value. When a person converts agricultural land to a non-agricultural use (e.g. residential or commercial development), that person may owe a conversion charge. To obtain more information about the use value law or conversion charge, contact the Wisconsin Department of Revenue's Equalization Section at 608-266-2149 or visit <http://www.revenue.wi.gov/faqs/slf/useassmt.html>.

Note that the act of rezoning property from an agricultural zoning district to a non-agricultural zoning district does not necessarily trigger the agricultural use conversion charge. It is when the use of the property changes from agricultural that the conversion charge is assessed.



January 15, 2016

Kenosha County Department of Planning & Development
Division of Planning & Development
19600 75th Street, Suite 185-3
Bristol, WI 53104

Dear Committee Members:

Pursuant to Section 12.26-4(h) of the Kenosha General Zoning & Shoreland/Floodplain Zoning Ordinance ("**Ordinance**") relative to the Planned Unit Development Overlay District, let this correspondence serve as an application to amend the existing Planned Unit Development Overlay approved by the Kenosha County Board on September 21, 2004 as part of The Reserve Condominium Plat located in the Town of Salem, County of Kenosha, State of Wisconsin.

PROJECT SUMMARY

The Reserve is an existing condominium development located $\frac{3}{4}$ of a mile west of the intersection of STH 50 and STH 75 in the Town of Salem. The Reserve consists of eleven (eleven) residential units on 55.7 wooded acres. The development is improved with sanitary sewer and a private road.

In 2004 the property was granted the following approvals:

- Condominium Plat
- Planned Unit Development for a Single Family Residential Condominium served with a private road.
- Developer's Agreement
- Zoning reclassification for existing wetland areas.

The Petitioners are respectfully requesting a preliminary plat approval in order to create fee simple lots, rather than condominium units. In order to do, flexibility in the Ordinance requirements is needed.

PROPOSED PUD AMENDMENT

Following the required pre-application conference with Kenosha County and the Town of Salem, Bear Development ("Petitioner") is requesting modification of the PUD Overlay in the C-2 Upland Resource Conservancy District to allow the property to be subdivided into fee simple lots. The following is relevant information regarding this proposed development:

- a. The single-family development is fully developed and consists of a 55.72 acre site, and is comprised of eleven (11) condominium "pads" improved with existing sanitary sewer and a private roadway.



b. Bear Development is requesting several modifications to the existing PUD Overlay to allow the flexibility required to create fee simple lots. They are as follows:

Section 12.10-1 – Structures Per Lot; Public Access

Required By Ordinance: All structures shall be located on a lot; and, except as otherwise provided in this ordinance, in the A-1, A-2, A-4, R-1, R-2, R-3, R-4, R-5, R-6, R-7, R-8 and C-2 districts, only one principal structure shall be located, erected or moved onto a lot. The number, size and type of accessory structures shall be governed as specified in each district and section 12.27-6 of this ordinance. All lots shall abut upon a public street, easement of record or other officially approved means of access and no zoning permit shall be issued for a lot which abuts a public street dedicated to only a portion of its proposed width and located on that side thereof from which the required dedication has not been secured.

Requested Deviation:

The Petitioner is requesting to re-affirm the 2004 approvals to serve The Reserve dwelling units with a private road. The roadway is existing and is depicted on the Condominium Plat and the proposed Preliminary Plat (attached).

Section 12.25-2(e) – C-2 Upland Resource Conservancy District – Lot Area and Width

Required By Ordinance: Parcels shall have a minimum area of five acres.

Requested Deviation:

The Petitioner is requesting that the minimum parcel area for proposed lots in the PUD Overlay District zoning be changed from 5 acres to 2.8 acres. Proposed lots range in size from 10.37 acres to 2.83 acres. Lot size and shape will be in substantial conformance with the proposed Preliminary Plat (attached).

Required By Ordinance: All such parcels shall have a frontage of not less than 300 feet in width except on a cul-de-sac or curve in which case the lot frontage may be reduced to 150 feet of frontage provided there is at least 300 feet of width at the required building setback line.

Requested Deviation:

The Petitioner is requesting flexibility as it relates to the minimum required frontage for each parcel. Petitioner is currently determining the minimum frontage for each proposed lot. However, the lot frontage and shape shall be in substantial conformance to the Limited



Common Element division lines shown on the Condominium Plat and the proposed Preliminary Plat (attached).

Section 12.25-1(h) – C-1 Lowland Resource Conservancy District – Platting Subdivisions

Required By Ordinance: When platting new subdivisions, every effort shall be made to contain lands zoned C-1 Lowland Resource Conservancy District in outlots to be owned and controlled by a community association.

Requested Deviation:

The Petitioner is requesting that certain lands zoned C-1 Lowland Conservancy be incorporated within fee simple lots owned by private individuals. Said lands would be placed within an easement allowing for wetland protection, open space preservation, access and maintenance.

Section 17.10-2(a) – Agreement Provisions - Ownership

Required By Ordinance: ...All stormwater BMPs that collect runoff from more than one lot shall be located on outlots...

Requested Deviation:

The Petitioner is requesting that certain storm water BMPs be incorporated within fee simple lots owned by private individuals. Said lands would be placed within an easement allowing for wetland protection, open space preservation, access and maintenance.

Bear intends to vacate the existing Condominium Plat and Record a Final Plat of Subdivision within sixty (60) following the approval of the Final Plat of Subdivision.

Bear is not requesting a modification of the wetland and natural resource protection measures set forth in the original Developer's Agreement.

2. A detailed development site plan that includes the following information is attached.
 - a. A survey and legal description of the boundaries of the subject property included in the proposed Planned Unit Development and its relationship to surrounding properties prepared by a land surveyor registered by the State of Wisconsin. **This is a request for amendment to an existing PUD and this information is already on record with the County as Plat #8030 (also known as document #1466266) recorded with the Kenosha County Register of Deeds on January 16, 2006. The existing survey and legal description are attached as Exhibit 1A.**



- b. The location of public and private roads, driveways, and parking facilities. **This is a request for amendment to an existing PUD and this information is already on record with the County. The existing Condominium Plat is attached as Exhibit 1B.**
- c. The size, arrangement, and location of any individual building sites and proposed building groups on each individual site. **See attached preliminary plat document.**
- d. The location of institutional, recreational, and open space areas and areas reserved or dedicated for public uses, including schools, parks, and drainage ways. **See attached preliminary plat document.**
- e. The type, size, and location of all structures. **Two single-family residences (condos) currently existing within the development and will remain as single-family units on fee simple lots under the proposed platted subdivision.**
- f. General landscape treatment. **This is a request for amendment to an existing PUD and this information is already on record with the County.**
- g. Architectural plans, elevation, and perspective drawings and sketches illustrating the design and character of the proposed structures. **The single-family residences will be constructed to zoning code requirements.**
- h. The existing and proposed location of public sanitary sewer and water supply facilities. **See attached preliminary plat document**
- i. The existing and proposed location of all private utilities or other easements. **See attached preliminary plat document.**
- j. The characteristics of soils related to contemplated specific uses. **See attached preliminary plat document.**
- k. Existing topography on the site with contours at no greater than two (2) foot intervals. **See attached preliminary plat document.**
- l. Detail storm-water drainage plans prepared by a professional engineer registered by the State of Wisconsin. **The petitioner is not seeking any revisions in storm water management, to revise the existing development plan, change drainage plans or increase the area of proposed impervious surface to be created under the original 11-unit development plan.**



The following is an excerpt from the June 30, 2004 stormwater management plan review letter from Michael G. Hahn, P.E., P.H. from the Southeastern Wisconsin Regional Planning Commission (SEWRPC): The total area of the site is approximately 56 acres. It is currently mainly a primary environmental corridor, consisting of woodlands with some isolated wetlands. There is currently two houses on the property, and it is proposed to construct 9 additional single-family residential lots. Under existing conditions, runoff from the northern portion of the site is conveyed overland to several wetlands and ponds on or near the site. If they overflow, runoff is conveyed to an unnamed tributary to Silver Lake approximately 1,700 feet west of the site. Runoff from the southern portion of the site is conveyed under STH 50 through a culvert and immediately enters another unnamed tributary to Silver Lake. Under Proposed conditions, runoff from the site would be conveyed overland in grassed swales to the same wetlands and ponds as under existing conditions. A proposed trail on the north side of the site and the proposed road on the south side would each restrict the existing outlet of a wetland and create additional storage. The downstream drainage features would remain the same.

Said stormwater plan was subsequently approved by SEWRPC in a letter dated September 8, 2004 address to the Kenosha County Department of Planning & Development.

- m. Anticipated uses of adjoining lands in regard to roads, surface water drainage, and compatibility with existing adjacent land uses. **Farm fields exist to the west, north and south of the development tract. The adopted land use plan map shows the area west of the tract to be developed as "Medium-Density Residential" and the areas north and east of the tract to be developed as "Mixed Use".**
- n. Any other data or information requested at the pre-petition conference.

Thank you for your time and consideration.

Respectfully,

Daniel Szczap
Bear Development, LLC

PRELIMINARY PLAT OF THE RESERVE

BEING A PART OF THE NORTHEAST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 20 EAST, TOWN OF SALEM, KENOSHA COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID SOUTHWEST 1/4, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE S02°04'40"E, ALONG THE EAST LINE OF SAID SOUTHWEST 1/4, A DISTANCE OF 2,468.79'; THENCE S89°47'15"W, A DISTANCE OF 834.62'; THENCE S88°24'52"W, A DISTANCE OF 153.09'; THENCE N02°04'37"W, A DISTANCE OF 2,452.09' TO THE NORTH LINE OF SAID SOUTHWEST 1/4; THENCE N88°50'20"E, ALONG SAID NORTH LINE, A DISTANCE OF 987.30' TO THE POINT OF BEGINNING, CONTAINING 55.728 ACRES MORE OR LESS.



BASIS OF BEARING:
Bearings refer to Grid North of the Wisconsin State Plane Co-ordinate System, South Zone per NAD 83, 27. The North line of the Southeast 1/4 of Section 4, T1N, R20E was taken to bear N88°36'20"E.

SURVEYOR:
V2G SURVEYING, LLC,
550 BAYVIEW ROAD,
SUITE B
MUKWONAGO, WI 53149
262-378-5097
V2G-SURVEYING.COM

OWNER:
MILLS ENTERPRISES LLC
4015 80TH STREET
KENOSHA, WI 53142

UNPLATTED LANDS
OWNER:
RANDALL H & JANICE BORRI
2626 75TH ST
SALEM, WI 53168

NE Corner, SE 1/4
Section 4, T1N, R20E
Found Conc. Mon. w/ Brass cap
Wiscon. State Plane
Co-Ordinate System, South Zone,
N - 215,326.74
E - 32,504,009.14

Surveyor's Certificate:
I, Michael A. Greeson, professional land surveyor, hereby certify:
That I have surveyed, divided and mapped the Reserve, located in the NE 1/4 and SE 1/4 of Section 4, Township 1 North, Range 20 East, Town of Salem, Kenosha County and State of Wisconsin.

That I have made such survey, land-division and plat by the direction of Stephen G. Mills owner of said land, described as follows:

Being a part of the Northeast 1/4 and Southwest 1/4 of the Southeast 1/4 of Section 4, Township 1 North, Range 20 East, Town of Salem, Kenosha County, Wisconsin, more particularly described as follows: Beginning at the Northeast corner of said Southwest 1/4, said point also being the point of beginning; thence S02°04'40"E, along the east line of said Southwest 1/4, a distance of 2,468.79'; thence S89°47'15"W, a distance of 834.62'; thence S88°24'52"W, a distance of 153.09'; thence N02°04'37"W, a distance of 2,452.09' to the North line of said Southwest 1/4; thence N88°50'20"E, along said North line, a distance of 987.30' to the point of beginning. Containing 55.728 acres more or less.

That such plat is a correct representation of all of the exterior boundaries of the land surveyed and the subdivision thereof made. That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the County of Kenosha and the Town of Salem Land Division Ordinance, in surveying, dividing, and mapping the same.

Date: Michael A. Greeson
Professional Land Surveyor, S-2470

Owner's Certificate of Declaration
As owner(s), I (we) hereby certify that I (we) caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on the plat. I (we) also certify that this plat as required by 236.10 or 236.12 to be submitted to the following for approval or objection: Town of Salem, Kenosha County and the State of Wisconsin.

WITNESS the hand and seal of said owner(s) this _____ day of _____, 2016.

In presence of: _____ (Seal)

Owner's Name: _____ (Seal)

Owner's Name: _____ (Seal)

(Owner's Notary Certificate)
STATE OF WISCONSIN, _____ COUNTY) SS
Personally came before me this _____ day of _____, 2016, the above named _____ to me known to be the same person who executed the foregoing instrument and acknowledged the same.

(Notary Seal)
Notary Public, _____
Wisconsin
My commission expires _____

UNPLATTED LANDS
OWNER:
CHUNG HWE & MOON HWA PARK
RONALD C PARK
2626 N SAINT MARYS RD
METTAWA, IL 60048

LINE TABLE

LINE	BEARING	DISTANCE
L1	N12°03'11"E	12.00
L2	S89°47'15"W	10.00
L3	S88°24'52"W	10.00
L4	S29°47'59"W	4.22
L5	S29°47'59"W	4.22
L6	S21°29'00"E	16.41
L7	S21°29'00"E	16.41
L8	S29°47'59"W	8.47
L9	S29°47'59"W	8.47
L10	S29°47'59"W	8.47
L11	S29°47'59"W	8.47
L12	S29°47'59"W	8.47
L13	S29°47'59"W	8.47
L14	S29°47'59"W	8.47
L15	S29°47'59"W	8.47
L16	S29°47'59"W	8.47
L17	S29°47'59"W	8.47
L18	S29°47'59"W	8.47
L19	S29°47'59"W	8.47
L20	S29°47'59"W	8.47
L21	S29°47'59"W	8.47
L22	S29°47'59"W	8.47
L23	S29°47'59"W	8.47
L24	S29°47'59"W	8.47
L25	S29°47'59"W	8.47
L26	S29°47'59"W	8.47
L27	S29°47'59"W	8.47
L28	S29°47'59"W	8.47
L29	S29°47'59"W	8.47
L30	S29°47'59"W	8.47
L31	S29°47'59"W	8.47
L32	S29°47'59"W	8.47
L33	S29°47'59"W	8.47
L34	S29°47'59"W	8.47
L35	S29°47'59"W	8.47
L36	S29°47'59"W	8.47
L37	S29°47'59"W	8.47
L38	S29°47'59"W	8.47
L39	S29°47'59"W	8.47
L40	S29°47'59"W	8.47
L41	S29°47'59"W	8.47
L42	S29°47'59"W	8.47
L43	S29°47'59"W	8.47
L44	S29°47'59"W	8.47
L45	S29°47'59"W	8.47
L46	S29°47'59"W	8.47
L47	S29°47'59"W	8.47
L48	S29°47'59"W	8.47
L49	S29°47'59"W	8.47
L50	S29°47'59"W	8.47
L51	S29°47'59"W	8.47
L52	S29°47'59"W	8.47
L53	S29°47'59"W	8.47
L54	S29°47'59"W	8.47
L55	S29°47'59"W	8.47
L56	S29°47'59"W	8.47
L57	S29°47'59"W	8.47
L58	S29°47'59"W	8.47
L59	S29°47'59"W	8.47
L60	S29°47'59"W	8.47
L61	S29°47'59"W	8.47
L62	S29°47'59"W	8.47
L63	S29°47'59"W	8.47
L64	S29°47'59"W	8.47
L65	S29°47'59"W	8.47
L66	S29°47'59"W	8.47
L67	S29°47'59"W	8.47
L68	S29°47'59"W	8.47
L69	S29°47'59"W	8.47
L70	S29°47'59"W	8.47
L71	S29°47'59"W	8.47
L72	S29°47'59"W	8.47
L73	S29°47'59"W	8.47
L74	S29°47'59"W	8.47
L75	S29°47'59"W	8.47
L76	S29°47'59"W	8.47
L77	S29°47'59"W	8.47
L78	S29°47'59"W	8.47
L79	S29°47'59"W	8.47
L80	S29°47'59"W	8.47
L81	S29°47'59"W	8.47
L82	S29°47'59"W	8.47
L83	S29°47'59"W	8.47
L84	S29°47'59"W	8.47
L85	S29°47'59"W	8.47
L86	S29°47'59"W	8.47
L87	S29°47'59"W	8.47
L88	S29°47'59"W	8.47
L89	S29°47'59"W	8.47
L90	S29°47'59"W	8.47
L91	S29°47'59"W	8.47
L92	S29°47'59"W	8.47
L93	S29°47'59"W	8.47
L94	S29°47'59"W	8.47
L95	S29°47'59"W	8.47
L96	S29°47'59"W	8.47
L97	S29°47'59"W	8.47
L98	S29°47'59"W	8.47
L99	S29°47'59"W	8.47
L100	S29°47'59"W	8.47

CENTERLINE CURVE TABLE

CURVE	ARC	CHORD BEARING	RADIUS	DELTA	CHORD	TANGENT
C11	44.58	N02°04'37"W	254.99	22.217°	153.07	20.50
C12	75.87	N02°04'37"W	150.00	47.912°	84.17	26.72
C13	22.21	N02°04'37"W	254.99	22.217°	153.07	20.50
C14	44.58	N02°04'37"W	254.99	44.434°	153.07	20.50
C15	75.87	N02°04'37"W	150.00	66.646°	84.17	26.72
C16	22.21	N02°04'37"W	254.99	22.217°	153.07	20.50
C17	44.58	N02°04'37"W	254.99	44.434°	153.07	20.50
C18	75.87	N02°04'37"W	150.00	66.646°	84.17	26.72
C19	22.21	N02°04'37"W	254.99	22.217°	153.07	20.50
C20	44.58	N02°04'37"W	254.99	44.434°	153.07	20.50
C21	75.87	N02°04'37"W	150.00	66.646°	84.17	26.72
C22	22.21	N02°04'37"W	254.99	22.217°	153.07	20.50
C23	44.58	N02°04'37"W	254.99	44.434°	153.07	20.50
C24	75.87	N02°04'37"W	150.00	66.646°	84.17	26.72
C25	22.21	N02°04'37"W	254.99	22.217°	153.07	20.50
C26	44.58	N02°04'37"W	254.99	44.434°	153.07	20.50
C27	75.87	N02°04'37"W	150.00	66.646°	84.17	26.72
C28	22.21	N02°04'37"W	254.99	22.217°	153.07	20.50
C29	44.58	N02°04'37"W	254.99	44.434°	153.07	20.50
C30	75.87	N02°04'37"W	150.00	66.646°	84.17	26.72

LOT CURVE TABLE

CURVE	ARC	CHORD BEARING	RADIUS	DELTA	CHORD	TANGENT
L1	22.21	N02°04'37"W	254.99	22.217°	153.07	20.50
L2	44.43	N02°04'37"W	254.99	44.434°	153.07	20.50
L3	66.65	N02°04'37"W	254.99	66.646°	153.07	20.50
L4	88.87	N02°04'37"W	254.99	88.838°	153.07	20.50
L5	111.09	N02°04'37"W	254.99	111.050°	153.07	20.50
L6	133.31	N02°04'37"W	254.99	133.262°	153.07	20.50
L7	155.53	N02°04'37"W	254.99	155.474°	153.07	20.50
L8	177.75	N02°04'37"W	254.99	177.686°	153.07	20.50
L9	200.00	N02°04'37"W	254.99	200.000°	153.07	20.50
L10	222.22	N02°04'37"W	254.99	222.212°	153.07	20.50
L11	244.44	N02°04'37"W	254.99	244.424°	153.07	20.50
L12	266.66	N02°04'37"W	254.99	266.636°	153.07	20.50
L13	288.89	N02°04'37"W	254.99	288.848°	153.07	20.50
L14	311.11	N02°04'37"W	254.99	311.060°	153.07	20.50
L15	333.33	N02°04'37"W	254.99	333.272°	153.07	20.50
L16	355.56	N02°04'37"W	254.99	355.484°	153.07	20.50
L17	377.78	N02°04'37"W	254.99	377.696°	153.07	20.50
L18	400.00	N02°04'37"W	254.99	400.000°	153.07	20.50
L19	422.22	N02°04'37"W	254.99	422.212°	153.07	20.50
L20	444.44	N02°04'37"W	254.99	444.424°	153.07	20.50
L21	466.67	N02°04'37"W	254.99	466.636°	153.07	20.50
L22	488.89	N02°04'37"W	254.99	488.848°	153.07	20.50
L23	511.11	N02°04'37"W	254.99	511.060°	153.07	20.50
L24	533.33	N02°04'37"W	254.99	533.272°	153.07	20.50
L25	555.56	N02°04'37"W	254.99	555.484°	153.07	20.50
L26	577.78	N02°04'37"W	254.99	577.696°	153.07	20.50
L27	600.00	N02°04'37"W	254.99	600.000°	153.07	20.50
L28	622.22	N02°04'37"W	254.99	622.212°	153.07	20.50
L29	644.44	N02°04'37"W	254.99	644.424°	153.07	20.50
L30	666.67	N02°04'37"W	254.99	666.636°	153.07	20.50
L31	688.89	N02°04'37"W	254.99	688.848°	153.07	20.50
L32	711.11	N02°04'37"W	254.99	711.060°	153.07	20.50
L33	733.33	N02°04'37"W	254.99	733.272°	153.07	20.50
L34	755.56	N02°04'37"W	254.99	755.484°	153.07	20.50
L35	777.78	N02°04'37"W	254.99	777.696°	153.07	20.50
L36	800.00	N02°04'37"W	254.99	800.000°	153.07	20.50
L37	822.22	N02°04'37"W	254.99	822.212°	153.07	20.50
L38	844.44	N02°04'37"W	254.99	844.424°	153.07	20.50
L39	866.67	N02°04'37"W	254.99	866.636°	153.07	20.50
L40	888.89	N02°04'37"W	254.99	888.848°	153.07	20.50
L41	911.11	N02°04'37"W	254.99	911.060°	153.07	20.50
L42	933.33	N02°04'37"W	254.99	933.272°	153.07	20.50
L43	955.56	N02°04'37"W	254.99	955.484°	153.07	20.50
L44	977.78	N02°04'37"W	254.99	977.696°	153.07	20.50
L45	1000.00	N02°04'37"W	254.99	1000.000°	153.07	20.50
L46	1022.22	N02°04'37"W	254.99	1022.212°	153.07	20.50
L47	1044.44	N02°04'37"W	254.99	1044.424°	153.07	20.50
L48	1066.67	N02°04'37"W	254.99	1066.636°	153.07	20.50
L49	1088.89	N02°04'37"W	254.99	1088.848°	153.07	20.50
L50	1111.11	N02°04'37"W	254.99	1111.060°	153.07	20.50
L51	1133.33	N02°04'37"W	254.99	1133.272°	153.07	20.50
L52	1155.56	N02°04'37"W	254.99	1155.484°	153.07	20.50
L53	1177.78	N02°04'37"W	254.99	1177.696°	153.07	20.50
L54	1200.00	N02°04'37"W	254.99	1200.000°	153.07	20.50
L55	1222.22	N02°04'37"W	254.99	1222.212°	153.07	20.50
L56	1244.44	N02°04'37"W	254.99	1244.424°	153.07	20.50
L57	1266.67	N02°04'37"W	254.99	1266.636°	153.07	20.50
L58	1288.89	N02°04'37"W	254.99	1288.848°	153.07	20.50

Site Map - 65-4-120-044-0101 through -0111 (The Reserve)



Subject Development Tract Parcels



- Legend
- Street Centerlines
 - Right-of-Ways
 - Water Features
 - - - Parcels
 - - - Certified Survey Maps
 - - - Condominiums
 - - - Subdivisions
 - Municipal Boundaries

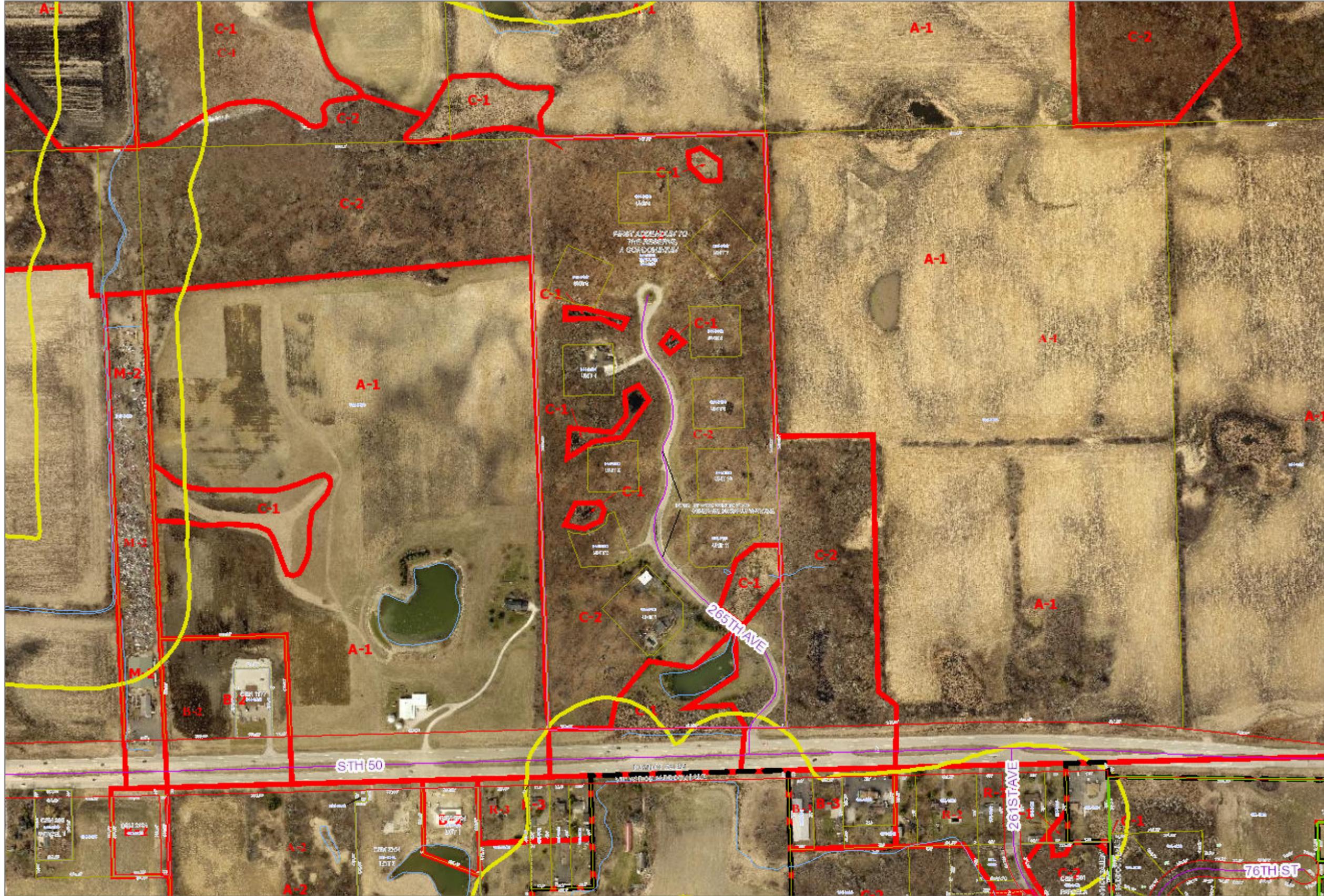


1 inch = 400 feet

DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

Date Printed: 1/14/2016

65-4-120-044-0101 through -0111 (The Reserve) Current Zoning Classifications



- Legend
- Street Centerlines
 - Right-of-Ways
 - Water Features
 - Parcels
 - Certified Survey Maps
 - Condominiums
 - Subdivisions
 - Municipal Boundaries
 - Shoreland Areas
 - Zoning (Unincorporated Areas)



1 inch = 400 feet

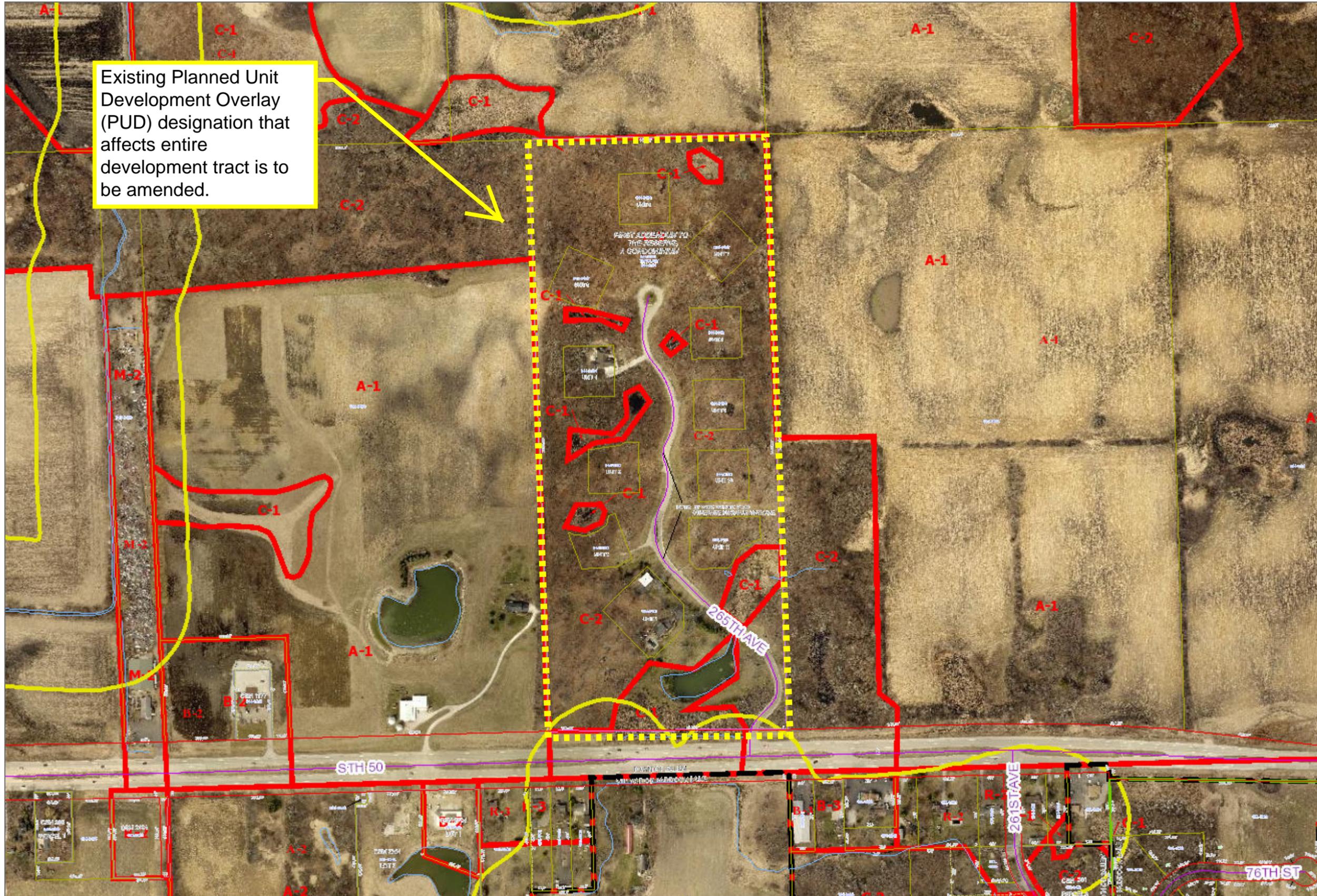
DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

Date Printed: 1/14/2016

65-4-120-044-0101 through -0111 (The Reserve) Proposed Zoning Classifications



Existing Planned Unit Development Overlay (PUD) designation that affects entire development tract is to be amended.



- Legend
- Street Centerlines
 - Right-of-Ways
 - Water Features
 - Parcels
 - Certified Survey Maps
 - Condominiums
 - Subdivisions
 - Municipal Boundaries
 - Shoreland Areas
 - Zoning (Unincorporated Areas)



1 inch = 400 feet

DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

Date Printed: 1/14/2016

Municipality: 012 Salem

Property Ownership

Parcel Number: 65-4-120-044-0101

Legal Name/Ownership

STEPHEN C MILLS

Property Address

7310 265TH AVE

Assessment as of : 1/01/2015 +

Assessed Land : 234,600

Assessed Improved: 290,500

Assessment Total : 525,100

Mail-To Address

STEPHEN C MILLS

4015 80TH ST

KENOSHA, WI 53142

Current as of : Last Posting

Heated Square Foot: 4,079

Garage Square Foot:

Actual Frontage :

Effective Frontage:

Effective Depth :

Total Acres :

Document # 1528073

Abbrev Metes/Bounds Legal Desc +

1553-F-1 UNIT 1 IN THE RESERVE

CONDO PLAT# 8030 DOC# 1466266

AND 1ST ADDENDUM DOC# 1536801

PRT NE 1/4 & SE 1/4 OF SE 1/4

SEC 4 T 1 R 20

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt

F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land

F17=Prop Hist F18=Pol Distr

F15=Print Property

Municipality: 012
Parcel Number: 65-4-120-044-0102

Salem

Legal Name/Ownership
MILLS ENTERPRISES LLC

Property Address
265TH AVE

Assessment as of : 1/01/2015 +
Assessed Land : 149,400
Assessed Improved: 0
Assessment Total : 149,400

Mail-To Address
MILLS ENTERPRISES LLC
4015 80TH ST
KENOSHA, WI 53142

Current as of : Last Posting
Heated Square Foot:
Garage Square Foot:
Actual Frontage :
Effective Frontage:
Effective Depth :
Total Acres :

Document # 1717306
Abbrev Metes/Bounds Legal Desc +
1553-F-1 UNIT 2 IN THE RESERVE
CONDO PLAT# 8030 DOC# 1466266
AND 1ST ADDENDUM DOC# 1536801
PRT NE 1/4 & SE 1/4 OF SE 1/4
SEC 4 T 1 R 20

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt
F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land
F17=Prop Hist F18=Pol Distr F15=Print Property

Municipality: 012

Salem

Property Ownership

Parcel Number: 65-4-120-044-0103

Legal Name/Ownership

MILLS ENTERPRISES LLC

Property Address

265TH AVE

Assessment as of : 1/01/2015 +

Assessed Land : 177,800

Assessed Improved: 0

Assessment Total : 177,800

Mail-To Address

MILLS ENTERPRISES LLC

4015 80TH ST

KENOSHA, WI 53142

Current as of : Last Posting

Heated Square Foot:

Garage Square Foot:

Actual Frontage :

Effective Frontage:

Effective Depth :

Total Acres :

Document # 1717306

Abbrev Metes/Bounds Legal Desc +

1553-F-1 UNIT 3 IN THE RESERVE

CONDO PLAT# 8030 DOC# 1466266

PRT NE 1/4 & SE 1/4 OF SE 1/4

SEC 4 T 1 R 20

See recorded doc for complete legal

V1476 P200

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt

F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land

F17=Prop Hist F18=Pol Distr

F15=Print Property

Parcel Number: 65-4-120-044-0104

Legal Name/Ownership

CRAIG T & LAURA M BAUMGARDNER

Property Address

7008 265TH AVE

Assessment as of : 1/01/2015 +
Assessed Land : 187,700
Assessed Improved: 350,200
Assessment Total : 537,900

Mail-To Address

CRAIG T & LAURA M BAUMGARDNER

37015 N FERNVIEW LN

LAKE VILLA, IL 60046

Current as of : Last Posting
Heated Square Foot: 6,060
Garage Square Foot:
Actual Frontage :
Effective Frontage:
Effective Depth :
Total Acres :

Document # 1718350

Abbrev Metes/Bounds Legal Desc +

1553-F-1 UNIT 4 IN THE RESERVE

CONDO PLAT# 8030 DOC# 1466266

PRT NE 1/4 & SE 1/4 OF SE 1/4

SEC 4 T 1 R 20

V1476 P200

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt

F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land

F17=Prop Hist F18=Pol Distr

F15=Print Property

Municipality: 012 Salem

Property Ownership

Parcel Number: 65-4-120-044-0105

Legal Name/Ownership

MILLS ENTERPRISES LLC

Property Address

265TH AVE

Assessment as of :	1/01/2015 +
Assessed Land :	186,100
Assessed Improved:	0
Assessment Total :	186,100

Mail-To Address

MILLS ENTERPRISES LLC

4015 80TH ST

KENOSHA, WI 53142

Current as of :	Last Posting
Heated Square Foot:	
Garage Square Foot:	
Actual Frontage :	
Effective Frontage:	
Effective Depth :	
Total Acres :	

Document # 1717306

Abbrev Metes/Bounds Legal Desc +

1553-F-1 UNIT 5 IN THE RESERVE

CONDO PLAT# 8030 DOC# 1466266

PRT NE 1/4 & SE 1/4 OF SE 1/4

SEC 4 T 1 R 20

V1476 P200

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt

F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land

F17=Prop Hist F18=Pol Distr

F15=Print Property

Municipality: 012

Salem

Property Ownership

Parcel Number: 65-4-120-044-0106

Legal Name/Ownership

MILLS ENTERPRISES LLC

Property Address

265TH AVE

Assessment as of :	1/01/2015 +
Assessed Land :	206,800
Assessed Improved:	0
Assessment Total :	206,800

Mail-To Address

MILLS ENTERPRISES LLC

4015 80TH ST

KENOSHA, WI 53142

Current as of :	Last Posting
Heated Square Foot:	
Garage Square Foot:	
Actual Frontage :	
Effective Frontage:	
Effective Depth :	
Total Acres :	

Document # 1717306

Abbrev Metes/Bounds Legal Desc +

1553-F-1 UNIT 6 IN THE RESERVE

CONDO PLAT# 8030 DOC# 1466266

PRT NE 1/4 & SE 1/4 OF SE 1/4

SEC 4 T 1 R 20

V1476 P200

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt

F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land

F17=Prop Hist F18=Pol Distr

F15=Print Property

Parcel Number: 65-4-120-044-0107

Legal Name/Ownership
MILLS ENTERPRISES LLC

Property Address
265TH AVE

Assessment as of : 1/01/2015 +
Assessed Land : 204,300
Assessed Improved: 0
Assessment Total : 204,300

Mail-To Address
MILLS ENTERPRISES LLC
4015 80TH ST
KENOSHA, WI 53142

Current as of : Last Posting
Heated Square Foot:
Garage Square Foot:
Actual Frontage :
Effective Frontage:
Effective Depth :
Total Acres :

Document # 1717306
Abbrev Metes/Bounds Legal Desc +
1553-F-1 UNIT 7 IN THE RESERVE
CONDO PLAT# 8030 DOC# 1466266
PRT NE 1/4 & SE 1/4 OF SE 1/4
SEC 4 T 1 R 20
V1476 P200

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt
F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land
F17=Prop Hist F18=Pol Distr F15=Print Property

Municipality: 012
Parcel Number: 65-4-120-044-0108

Salem

Legal Name/Ownership
MILLS ENTERPRISES LLC

Property Address
265TH AVE

Assessment as of : 1/01/2015 +
Assessed Land : 174,000
Assessed Improved: 0
Assessment Total : 174,000

Mail-To Address
MILLS ENTERPRISES LLC
4015 80TH ST
KENOSHA, WI 53142

Current as of : Last Posting
Heated Square Foot:
Garage Square Foot:
Actual Frontage :
Effective Frontage:
Effective Depth :
Total Acres :

Document # 1717306
Abbrev Metes/Bounds Legal Desc +
1553-F-1 UNIT 8 IN THE RESERVE
CONDO PLAT# 8030 DOC# 1466266
PRT NE 1/4 & SE 1/4 OF SE 1/4
SEC 4 T 1 R 20
V1476 P200

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt
F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land
F17=Prop Hist F18=Pol Distr F15=Print Property

Parcel Number: 65-4-120-044-0109

Legal Name/Ownership
MILLS ENTERPRISES LLC

Property Address
7017 265TH AVE

Assessment as of : 1/01/2015 +
Assessed Land : 168,400
Assessed Improved: 0
Assessment Total : 168,400

Mail-To Address
MILLS ENTERPRISES LLC
4015 80TH ST
KENOSHA, WI 53142

Current as of : Last Posting
Heated Square Foot:
Garage Square Foot:
Actual Frontage :
Effective Frontage:
Effective Depth :
Total Acres :

Document # 1717306
Abbrev Metes/Bounds Legal Desc +
1553-F-1 UNIT 9 IN THE RESERVE
CONDO PLAT# 8030 DOC# 1466266
PRT NE 1/4 & SE 1/4 OF SE 1/4
SEC 4 T 1 R 20
V1476 P200

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt
F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land
F17=Prop Hist F18=Pol Distr F15=Print Property

Parcel Number: 65-4-120-044-0110

Legal Name/Ownership

MILLS ENTERPRISES LLC

Property Address

265TH AVE

Assessment as of : 1/01/2015 +

Assessed Land : 168,000

Assessed Improved: 0

Assessment Total : 168,000

Mail-To Address

MILLS ENTERPRISES LLC

4015 80TH ST

KENOSHA, WI 53142

Current as of : Last Posting

Heated Square Foot:

Garage Square Foot:

Actual Frontage :

Effective Frontage:

Effective Depth :

Total Acres :

Document # 1717306

Abbrev Metes/Bounds Legal Desc +

1553-F-1 UNIT 10 IN THE RESERVE

CONDO PLAT# 8030 DOC# 1466266

PRT NE 1/4 & SE 1/4 OF SE 1/4

SEC 4 T 1 R 20

V1476 P200

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt

F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land

F17=Prop Hist F18=Pol Distr

F15=Print Property

Parcel Number: 65-4-120-044-0111

Legal Name/Ownership
MILLS ENTERPRISES LLC

Property Address
265TH AVE

Assessment as of : 1/01/2015 +
Assessed Land : 167,000
Assessed Improved: 0
Assessment Total : 167,000

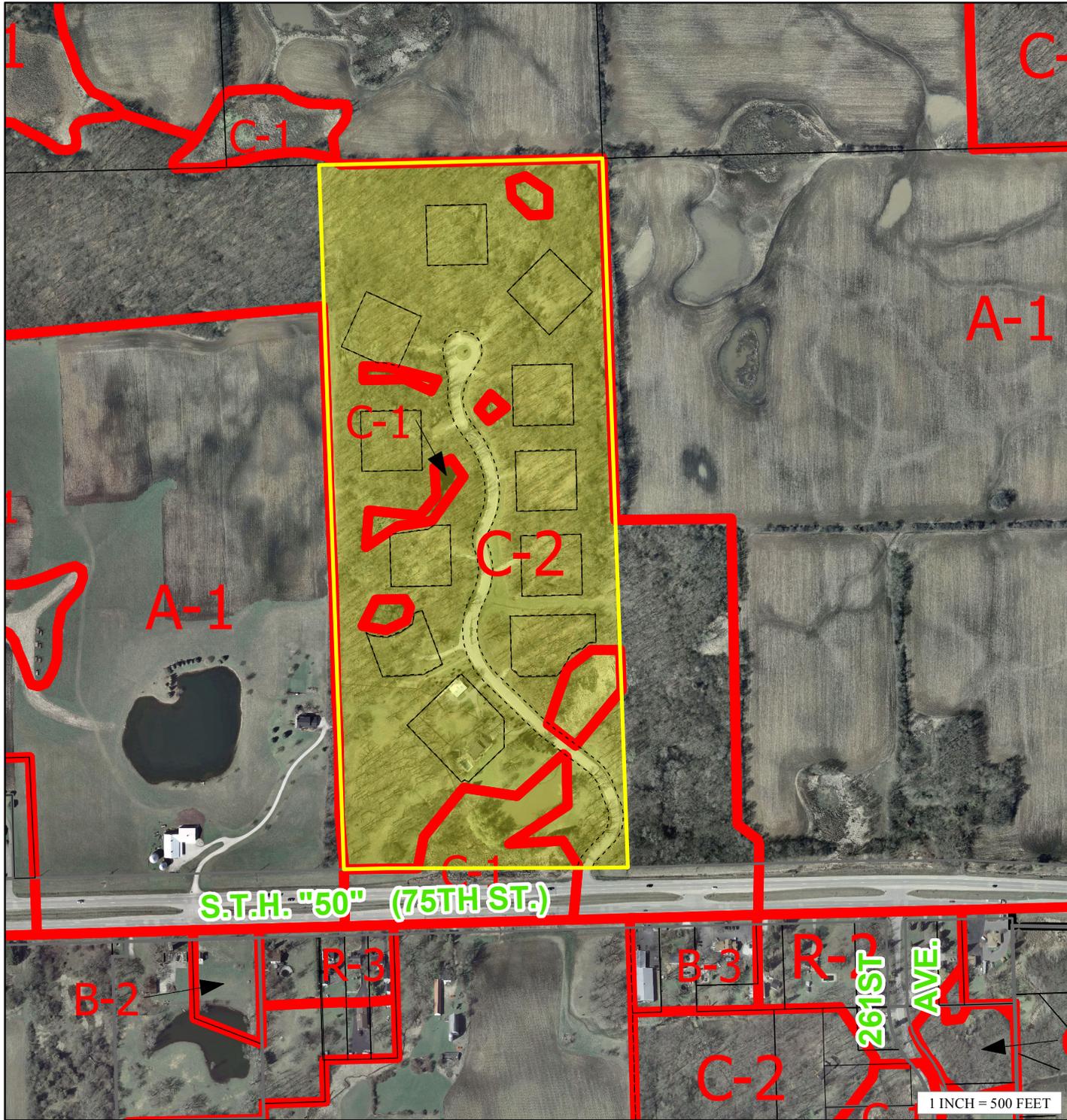
Mail-To Address
MILLS ENTERPRISES LLC
4015 80TH ST
KENOSHA, WI 53142

Current as of : Last Posting
Heated Square Foot:
Garage Square Foot:
Actual Frontage :
Effective Frontage:
Effective Depth :
Total Acres :

Document # 1717306
Abbrev Metes/Bounds Legal Desc +
1553-F-1 UNIT 11 IN THE RESERVE
CONDO PLAT# 8030 DOC# 1466266
PRT NE 1/4 & SE 1/4 OF SE 1/4
SEC 4 T 1 R 20
V1476 P200

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt
F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land
F17=Prop Hist F18=Pol Distr F15=Print Property



REZONING SITE MAP

PETITIONER(S):

Stephen C. Mills, Mills Enterprises LLC and
 Craig T. and Laura M. Baumgardner (Owners),
 Dan Szczap, Bear Development LLC (Agent)

LOCATION: SE 1/4 of Section 4,
 Town of Salem

TAX PARCEL(S): #65-4-120-044-0101 thru
 #65-4-120-044-0111

REQUEST:

Requesting a rezoning from C-2 Upland Resource
 Conservancy District and C-1 Lowland Resource
 Conservancy District with a Planned Unit Development
 Overlay (PUD) to C-2 Upland Resource Conservancy
 District and C-1 Lowland Resource Conservancy
 District with a Planned Unit Development Overlay
 (PUD)





January 2013

COUNTY OF KENOSHA

Department of Planning and Development

RECEIVED

RECEIVED

JAN 15 2016

JAN 15 2015

Kenosha County
Planning and Development

Kenosha County
Deputy County Clerk

LAND DIVISION APPLICATION

In order for applications to be processed, all information, drawings, application signatures, and fees required shall be submitted at time of application.

Please check the appropriate box below for the type of application being submitted:

- Certified Survey Map
- Subdivision Preliminary Plat
- Subdivision Final Plat
- Condominium Plat

Applicant is: Property Owner Subdivider Other _____

Applicant Name: Bear Development Date 11/18/2015

Mailing Address: 4011 80th Street Phone # (262) 842-0556

Kenosha, WI 53142 Phone # _____

Tax Parcel Number(s): 65-4-120-044-0101 through 65-4-120-044-0111

_____ Acreage of Project: Appx. 56 acres

Location of Property (including legal description):

Please see attached.

Subdivision/Development Name (if applicable): The Reserve

Existing Zoning: C2 PUD, C1 Proposed Zoning: C2 PUD (Amended) C1

Town Land Use Plan District Designation(s) (if applicable):

Present R-1 Countryside SF Residential

Proposed R1 Countryside SF Residential

Present Use(s) of Property: Single Family Residential

Proposed Use(s) of Property: Single Family Residential

The subdivision abuts or adjoins a state trunk highway..... Yes No ()

The subdivision will be served by public sewer Yes No ()

The subdivision abuts a county trunk highway Yes () No

The subdivision contains shoreland/floodplain areas Yes No ()

The subdivision lies within the extra-territorial plat (ETP) authority area of a nearby Village or City Yes () No

*Applicant is responsible for submitting to the ETP authority any fees and documentation needed to obtain a recommendation.

REQUIRED SIGNATURE(S) FOR ALL APPLICATIONS:

[Signature] _____
Property Owner's Signature Date

[Signature] _____
Property Owner's Signature Date 11/20/2015

REQUIRED APPLICABLE SIGNATURES:

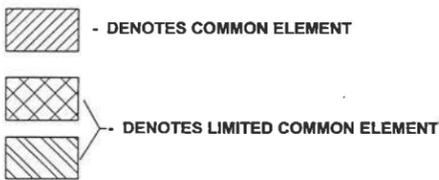
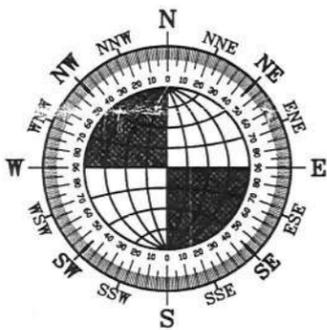
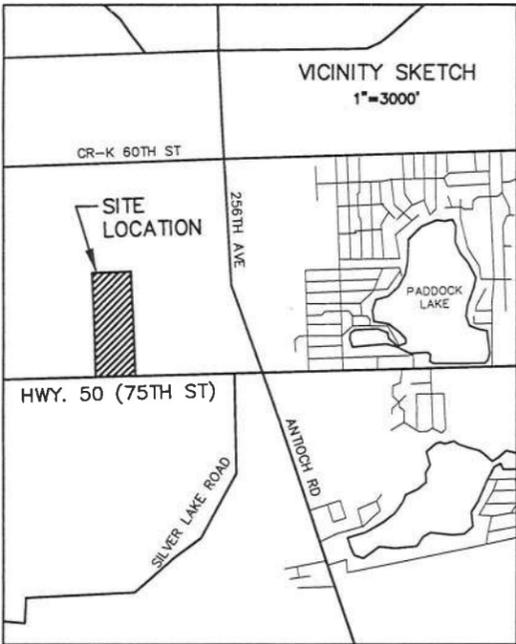
[Signature] _____
Applicant's Signature Date 11/19/2015

Developer's Signature Date

The Reserve

LEGAL DESCRIPTION OF THE RESERVE

Being a part of the Northeast 1/4 and Southeast 1/4 of the Southeast 1/4 of Section 4, Township 1 North, Range 20 East, town of Salem, Kenosha County, Wisconsin, more particularly described as follows:
 Beginning at the Northeast corner of said Southeast 1/4, said point also being the POINT OF BEGINNING; thence S02°04'40"E, along the East line of said Southeast 1/4, a distance of 2,468.79 feet; thence S89°47'15"W, a distance of 834.62 feet; thence S88°24'52"W, a distance of 153.09 feet; thence N02°04'37"W, a distance of 2,452.09 feet to the North line of said Southeast 1/4; thence N88°36'20"E, along said North line, a distance of 987.30 feet to the POINT OF BEGINNING.
 Containing 2,427,528 square feet or 55.7284 acres, more or less.



Site Data
 Total Developed Area... 55.728 acres (net)
 Net Site Density... 1 Unit / 5.066 acres

NOTES:

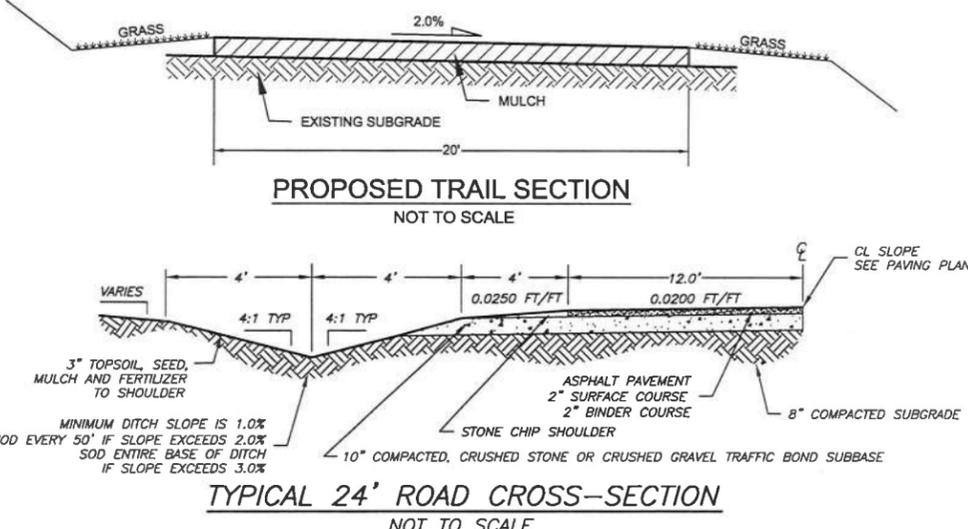
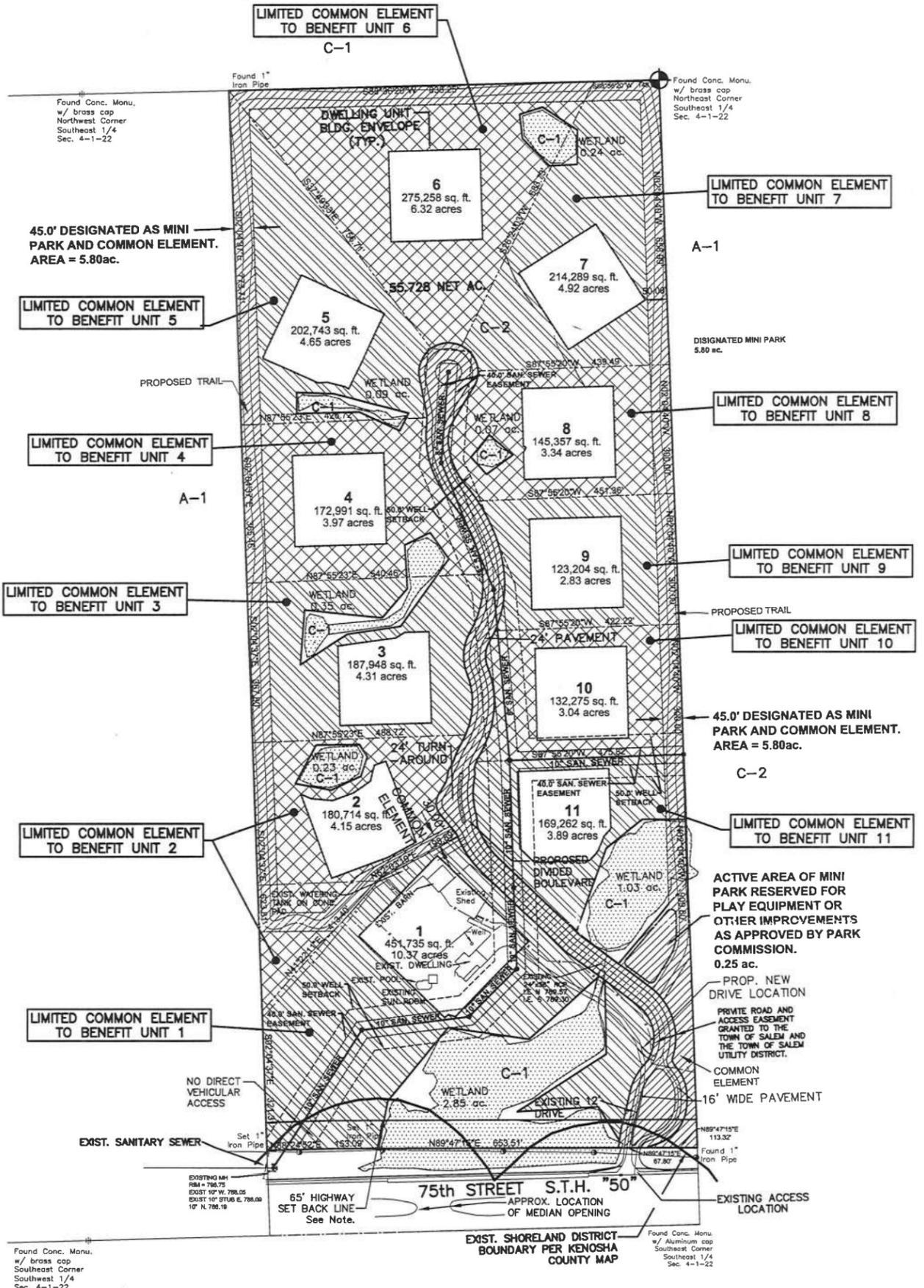
1. Owners of building envelopes must only construct one single family dwelling unit on each building envelope owned.
2. Town of Salem extended sanitary sewer to property line as shown.
3. Wetlands as delineated by Wetland and Waterway Consulting, December 2003
4. Sanitary sewer easement width may exceed 40' due to sewer depth.

Prepared For/Owner:
 The Reserve, LLC
 4011 80th Street
 Kenosha, WI 53142
 Ph. (262) 694-2327

Prepared By:
LANDCRAFT
 SURVEY AND ENGINEERING, INC.
 William R. Henrichs - S 2419
 2077 S. 116th Street
 West Allis, WI 53227
 Ph. (414) 604-0674

I hereby certify that this conceptual land division and condominium plan is a correct representation of all existing land divisions and features and that it fully complies with the provisions of the Town of Salem Land Division Control Ordinance.

William R. Henrichs
 William R. Henrichs, S-2419



LANDCRAFT SURVEY AND ENGINEERING, INC.
 REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS
 2077 SOUTH 116th STREET, WEST ALLIS, WI 53227
 PH. (414) 604-0674 FAX (414) 604-0677
 INFO@LANDCRAFTSE.COM

LAYOUT BY: C.W. HAWKINS
 CHECKED BY: W.R. HENRICHS
 PROJECT NO.-REVISION: 010140 - 6/30/04

SCALE 1"=200'

THE RESERVE

PRELIMINARY
 CONDOMINIUM DOCUMENT
 TOWN OF SALEM,
 KENOSHA COUNTY, WISCONSIN

APRIL 30, 2004

PRELIMINARY PLAT OF THE RESERVE

FORMERLY KNOWN AS THE RESERVE CONDOMINIUM

BEING A PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 20 EAST, TOWN OF SALEM, KENOSHA COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID SOUTHEAST 1/4, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE S02°04'40"E, ALONG THE EAST LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 2,468.79'; THENCE S89°47'15"W, A DISTANCE OF 834.62'; THENCE S88°24'52"W, A DISTANCE OF 153.09'; THENCE N02°04'37"W, A DISTANCE OF 2,452.09' TO THE NORTH LINE OF SAID SOUTHEAST 1/4; THENCE N88°36'20"E, ALONG SAID NORTH LINE, A DISTANCE OF 987.30' TO THE POINT OF BEGINNING, CONTAINING 55.728 ACRES MORE OR LESS.

0' 100'
SCALE 1" = 100'

BASIS OF BEARING:
Bearings refer to Grid North of the Wisconsin State Plane Coordinate System, South Zone per N.A.D. 27. The North line of the Southeast 1/4 of Section 4, T1N, R20E was taken to bear N88°36'20"E.

SURVEYOR:
V2G SURVEYING, LLC.
550 BAYVIEW ROAD
SUITE B
MUKWONAGO, WI 53149
262-378-5097

OWNERS:
Mills Enterprises LLC.
4015 80th Street
Kenosha, WI 53142
Stephen Mills (Lot 1)
4015 80th Street
Kenosha, WI 53142

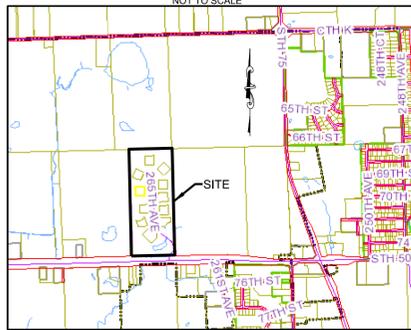
Craig T. and Laura Baumgardner
(Lot 4)
37015 N Fernview Land
Lake Villa, IL 60046

OBJECTING AUTHORITIES:
WISCONSIN DEPARTMENT OF ADMINISTRATION
WISCONSIN DEPARTMENT OF TRANSPORTATION

APPROVING AUTHORITIES:
TOWN OF SALEM
KENOSHA COUNTY
VILLAGE OF PADDOCK LAKE

LEGEND:
100.00' RECORDED DISTANCE
100.00' MEASURED DISTANCE
1" FOUND IRON PIPE, UNLESS NOTED
2" x 18" IRON PIPE SET, 1.13 lbs./L.F.

LOCATION MAP
NOT TO SCALE



UNPLATTED LANDS
OWNER:
RANDALL H & JANICE BORRI
26626 75TH ST
SALEM, WI 53168

Zoning Information:
Existing Site: C-1, C-2
West Adjoiner: A-1, C-1
East Adjoiner: A-1
North Adjoiner: A-1, C-1

Note Private Access:
The private road is not a public road and is not required to be maintained by the local unit of government.

Note: Removing the Property from the Condominium:
Prior to the recording of a certified survey map, condominium plat, subdivision plat or other plat affecting property within the condominium, the condominium must be removed from the provisions of Ch. 703 by recording a removal instrument.

WI DOT HIGHWAY NOTES

1. 65 Highway Setback: No building structures are allowed between the right-of-way line and the highway setback line. It is expressly intended that this restriction is for the benefit of the public as provided in section 236.293, Wisconsin Statutes, and shall be enforceable by the Wisconsin Department of Transportation or its assigns. Contact the Wisconsin Department of Transportation for more information. The phone number may be obtained by contacting the County Highway Department.

2. All lots and blocks are hereby restricted so that no owner, possessor, user, licensee or other person may have any right of direct vehicular ingress from or egress to any highway lying within the right-of-way of S.T.H. "50" as shown on the land division map; it is expressly intended that this restriction constitute a restriction for the benefit of the public as provided in s. 236.293, Stats., and shall be enforceable by the department or its assigns. Any access allowed by special exception shall be confirmed and granted only through the driveway permitting process and all permits are revocable.

WETLAND PRESERVATION RESTRICTION

- Grading and filling shall be prohibited unless specifically authorized by the municipality in which they are located and, if applicable, Kenosha County, the Wisconsin Department of Natural Resources, and the Army Corps of Engineers.
- The removal of topsoil or other earthen materials shall be prohibited.
- The removal or destruction of any vegetative cover, i.e. trees, shrubs, grasses, etc., shall be prohibited, with the exception of the removal of dead, diseased, or dying vegetation at the discretion of a forester or naturalist and the approval of Kenosha County.
- Grazing by domesticated animals, i.e. horses, cows, etc., shall be prohibited.
- The introduction of plant material not indigenous to the existing environment of the Wetland area shall be prohibited.
- Ponds may be permitted subject to the approval of the municipality in which they are located and, if applicable, Kenosha County, the Wisconsin Department of Natural Resources, and the Army Corps of Engineers.
- Construction of buildings is prohibited.

NOTES:

- All distances computed and measured to the nearest 0.01'.
- All angles computed to the nearest 00'00"00.5" and measured to the nearest 00'00"00.1".
- Existing zoning is C-1 and C-2.
- Utility easements are granted throughout for the placement of electric, gas, telephone, and cable lines by Alliant Energy, WE Energy, Verizon and Charter Cable, and their successors in interest.
- All Sanitary Sewer, Drainage, Storm Sewer and Storm Water Management, Maintenance and Access Easements are granted to the Town of Salem and the Town of Salem Utility District.
- Building setbacks are specified on this plat as dimensioned from the Building Envelopes. But, under no circumstances should they be less than 50 feet from Street, 50 feet from the Rear, nor 25 feet from the Side.
- Owners of building envelopes must only construct one single family dwelling unit on each building envelopes owned.
- Town of Salem extended sanitary sewer to property line as shown.
- Wetlands as delineated by Wetland and Waterway Consulting, LLC, December 2003.

NE Corner, SE 1/4
Section 4, T1N, R20E
Found Conc. Mon. w/ Brass cap
Wiscon. State Plane
Co-Ordinate System, South Zone.
N - 215,386.31
E - 52,504,009.14



Michael A. Greeson
Date 1-18-16
Professional Land Surveyor, S-2470

Owner's Certificate of Dedication
As owner(s), I (we) hereby certify that I (we) caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on the plat. I (we) also certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection: Town of Salem, Kenosha County and the State of Wisconsin.

WITNESS the hand and seal of said owner(s) this _____ day of _____, 2016.

In presence of: _____ (Seal)

Owner's Name _____ (Seal)

Owner's Name _____ (Seal)

(Owner's Notary Certificate)
STATE OF WISCONSIN _____ COUNTY) SS
Personally came before me this _____ day of _____, 2016, the above named _____ to me known to be the same person who executed the foregoing instrument and acknowledged the same.

(Notary Seal)
Notary Public
Wisconsin
My commission expires _____

UNPLATTED LANDS
OWNER:
CHUNG HWIE & MOON HWA PARK
RONALD C PARK
26035 N SAINT MARYS RD
METTAWA, IL 60048

LINE TABLE

LINE	BEARING	DISTANCE
L1	S12°03'11"W	12.02'
L2	N12°03'11"E	12.02'
L3	S40°19'56"E	15.05'
L4	S40°19'56"E	15.05'
L5	S29°47'59"W	4.22'
L6	S29°47'59"W	4.22'
L7	S21°29'05"E	19.41'
L8	S21°29'05"E	19.41'
L9	S02°04'40"E	8.40'
L10	S02°04'40"E	8.40'
L11	S43°44'32"W	78.23'
L12	S43°44'32"W	78.23'
L13	S02°04'40"E	8.40'
L14	S20°52'27"E	78.78'
L15	S22°51'14"E	206.60'
L16	S46°00'02"E	263.14'
L17	S21°29'05"E	19.41'
L18	S29°47'59"W	4.22'
L19	S40°19'56"E	15.05'
L20	S12°03'11"W	103.12'

CENTERLINE CURVE TABLE

CURVE	ARC	CHORD BEARING	RADIUS	DELTA	CHORD	TANGENT
CL1	44.68'	N0°00'00"E	100.00'	20°00'00"	44.31'	23.72'
CL2	79.97'	N0°49'56"E	100.00'	45°49'12"	77.86'	42.28'
CL3	32.89'	N11°30'04"W	100.00'	18°50'47"	32.75'	16.60'
CL4	43.68'	N8°24'22"W	150.00'	31°57'50"	42.86'	42.96'
CL5	301.37'	N89°27'43"W	229.99'	75°04'37"	280.27'	176.73'
CL6	176.49'	N0°00'00"E	200.00'	50°00'00"	170.82'	84.48'
CL7	44.75'	N04°02'27"E	50.00'	51°17'04"	43.38'	24.00'
CL8	351.91'	N05°15'59"W	287.50'	70°07'55"	330.35'	201.89'
CL9	194.78'	N14°02'27"E	213.04'	52°27'03"	188.67'	104.79'

LOT CURVE TABLE

CURVE	ARC	CHORD BEARING	RADIUS	DELTA	CHORD	TANGENT
C1	59.50'	N34°18'11"W	254.99'	22°12'21"	58.87'	126.36'
C2	234.53'	N02°12'58"E	254.99'	52°43'13"	226.44'	126.36'
C3	151.38'	N13°18'42"E	262.50'	30°12'23"	149.30'	77.86'
C4	199.52'	N03°14'15"W	262.50'	33°02'52"	198.57'	88.00'
C5	208.35'	N15°15'27"W	238.04'	50°58'59"	201.76'	111.38'
C6	5.29'	N10°56'00"E	238.04'	2°14'08"	5.29'	4.84'
C7	110.16'	N07°55'44"E	88.00'	82°49'24"	88.51'	71.44'
C8	73.71'	N85°23'31"E	88.00'	62°06'10"	70.15'	40.94'
C9	12.93'	S32°48'00"E	88.00'	51°28'48"	69.52'	40.44'
C10	76.75'	S30°15'22"W	88.00'	64°39'57"	72.74'	43.04'
C11	24.41'	S38°05'30"E	312.50'	4°28'54"	24.41'	12.21'
C12	314.20'	S07°03'00"E	312.50'	37°36'29"	301.13'	171.83'
C13	43.89'	S25°46'33"W	312.50'	8°02'52"	43.89'	21.98'
C14	29.94'	S24°53'04"W	204.99'	8°22'03"	29.94'	15.00'
C15	238.67'	N12°38'04"W	204.99'	68°42'33"	225.41'	134.50'

RIGHT-OF-WAY CURVE TABLE

CURVE	ARC	CHORD BEARING	RADIUS	DELTA	CHORD	TANGENT
R1	25.04'	N34°18'11"W	125.00'	10°56'10"	24.83'	12.84'
R2	99.96'	N0°49'56"E	125.00'	45°49'12"	97.32'	52.83'
R3	41.12'	N11°30'04"W	125.00'	18°50'47"	40.93'	20.79'
R4	176.63'	N08°24'22"W	175.00'	31°57'50"	169.37'	85.12'
R5	208.35'	N89°27'43"W	204.99'	75°04'37"	200.80'	157.52'
R6	188.50'	N03°47'49"E	225.00'	50°33'40"	182.17'	100.26'
R7	22.98'	N10°56'00"E	225.00'	5°11'04"	22.66'	12.09'
R8	382.51'	N05°15'59"W	312.50'	70°07'55"	359.07'	219.39'
R9	171.92'	N14°02'27"E	188.54'	52°27'03"	169.00'	83.50'
R10	44.10'	N37°12'16"E	50.00'	50°52'10"	42.69'	23.60'
R11	333.85'	N77°58'49"W	68.00'	281°04'19"	86.44'	55.98'
R12	44.10'	S13°15'35"E	50.00'	80°25'10"	42.69'	23.60'
R13	217.64'	S14°08'22"E	238.04'	52°27'03"	210.14'	117.09'
R14	321.31'	S08°18'59"E	282.50'	70°07'55"	301.62'	184.26'
R15	67.13'	S14°02'27"E	75.00'	51°17'04"	64.49'	35.00'
R16	154.43'	S03°47'45"W	175.00'	50°33'40"	149.47'	82.65'
R17	354.13'	S08°24'22"E	254.99'	75°04'37"	310.73'	193.94'
R18	69.73'	S08°24'22"E	125.00'	31°57'50"	68.82'	35.80'
R19	24.67'	S11°30'04"E	75.00'	18°50'47"	24.56'	12.45'
R20	39.98'	S0°49'56"W	75.00'	45°49'12"	38.29'	21.79'
R21	64.00'	S29°03'36"W	125.00'	29°21'53"	63.30'	32.75'



PRELIMINARY PLAT OF THE RESERVE

BEING A PART OF THE NORTHEAST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 20 EAST, TOWN OF SALEM, KENOSHA COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID SOUTHWEST 1/4, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE S02°04'40"E, ALONG THE EAST LINE OF SAID SOUTHWEST 1/4, A DISTANCE OF 2,468.79'; THENCE S89°47'15"W, A DISTANCE OF 834.62'; THENCE S88°24'52"W, A DISTANCE OF 153.09'; THENCE N02°04'37"W, A DISTANCE OF 2,452.09' TO THE NORTH LINE OF SAID SOUTHWEST 1/4; THENCE N88°36'20"E, ALONG SAID NORTH LINE, A DISTANCE OF 987.30' TO THE POINT OF BEGINNING, CONTAINING 55.728 ACRES MORE OR LESS.

SCALE 1" = 100'

BASIS OF BEARING:
Bearings refer to Grid North of the Wisconsin State Plane Co-ordinate System, South Zone per N.A.D. 27. The North line of the Southeast 1/4 of Section 4, T1N, R20E was taken to bear N88°36'20"E.

NE Corner, SE 1/4 Section 4, T1N, R20E
Found Conc. Mon. w/ Brass cap
Wisc. State Plane Co-Ordinate System, South Zone,
N = 215,332.74
E = 2,501,397.45

SURVEYOR:
V2G SURVEYING, LLC,
550 BAYVIEW ROAD,
SUITE B
MUKWONAGO, WI 53149
262-378-5097
V2G-SURVEYING.COM

OWNER:
MILLS ENTERPRISES LLC
4015 80TH STREET
KENOSHA, WI 53142

UNPLATTED LANDS
OWNER:
RANDALL H & JANICE BORRI
26625 75TH ST
SALEM, WI 53168

NE Corner, SE 1/4 Section 4, T1N, R20E
Found Conc. Mon. w/ Brass cap
Wisc. State Plane Co-Ordinate System, South Zone,
N = 215,336.31
E = 2,504,009.14

Surveyor's Certificate:

I, Michael A. Greeson, professional land surveyor, hereby certify: That I have surveyed, divided and mapped the Reserve, located in the NE 1/4 and SE 1/4 of the SE 1/4 of Section 4, Township 1 North, Range 20 East, Town of Salem, Kenosha County and State of Wisconsin.

That I have made such survey, land-division and plat by the direction of Stephen C. Mills owner of said land, described as follows:

Being a part of the Northeast 1/4 and Southwest 1/4 of the Southeast 1/4 of Section 4, Township 1 North, Range 20 East, Town of Salem, Kenosha County, Wisconsin, more particularly described as follows: Beginning at the Northeast corner of said Southeast 1/4, said point also being the point of beginning; thence S02°04'40"E, along the east line of said Southeast 1/4, a distance of 2,468.79'; thence S89°47'15"W, a distance of 834.62'; thence S88°24'52"W, a distance of 153.09'; thence N02°04'37"W, a distance of 2,452.09' to the North line of said Southeast 1/4; thence N88°36'20"E, along said North line, a distance of 987.30' to the point of beginning. Containing 55.728 acres more or less.

That such plat is a correct representation of all of the exterior boundaries of the land surveyed and the subdivision thereof made. That I have fully complied with the provisions of Chapter 235 of the Wisconsin Statutes and the subdivision regulations of the County of Kenosha and the Town of Salem Land Division Ordinance, in surveying, dividing, and mapping the same.

Date: Michael A. Greeson
Professional Land Surveyor, S-2470

Owner's Certificate of Dedication

As owner(s), I (we) hereby certify that I (we) caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on the plat. I (we) also certify that this plat is required by s.235.10 or s.235.12 to be submitted to the following for approval or objection: Town of Salem, Kenosha County and the State of Wisconsin.

WITNESS the hand and seal of said owner(s) this _____ day of _____, 2016.

In presence of: _____ (Seal)
Owner's Name _____ (Seal)

Owner's Name _____ (Seal)

(Owner's Notary Certificate)

STATE OF WISCONSIN
COUNTY) SS
Personally came before me this _____ day of _____, 2016, the above named _____ to me known to be the same person who executed the foregoing instrument and acknowledged the same.

(Notary Seal)
Notary Public, _____
My commission expires _____

UNPLATTED LANDS

OWNER:
CHUNG HWE & MOON HWA PARK
RONALD C PARK
26305 N SAINT MARYS RD
METTANA, IL 60048

LINE	BEARING	DISTANCE
L1	S12°03'11"E	12.02
L2	N12°03'11"E	12.02
L3	S89°47'15"W	15.00
L4	N89°47'15"W	15.00
L5	S24°47'59"W	4.22
L6	S24°47'59"W	4.22
L7	S21°20'52"E	16.41
L8	S21°20'52"E	16.41
L9	S89°47'15"W	6.48
L10	S89°47'15"W	6.48
L11	S24°47'59"W	6.48
L12	S24°47'59"W	6.48
L13	S21°20'52"E	72.23
L14	S21°20'52"E	72.23
L15	S21°20'52"E	263.14
L16	S21°20'52"E	263.14
L17	S21°20'52"E	16.41
L18	S24°47'59"W	4.22
L19	S89°47'15"W	15.00
L20	S12°03'11"E	12.02

CURVE	ARC	CHORD BEARING	RADIUS	DELTA	CHORD	TANGENT
C1	48.68	N87°56'23"W	100.00	20.2929	44.11	45.71
C2	74.07	N87°56'23"W	150.00	47.4812	77.40	82.26
C3	89.94	N87°56'23"W	180.00	69.5913	104.75	109.50
C4	101.84	N87°56'23"W	210.00	87.7424	128.00	133.75
C5	110.84	N87°56'23"W	240.00	101.9435	147.25	150.00
C6	118.84	N87°56'23"W	270.00	112.1946	162.50	167.25
C7	125.84	N87°56'23"W	300.00	119.4957	174.75	185.50
C8	131.84	N87°56'23"W	330.00	124.8468	184.00	204.75
C9	136.84	N87°56'23"W	360.00	128.2479	191.25	225.00
C10	140.84	N87°56'23"W	390.00	129.7990	196.50	247.25
C11	143.84	N87°56'23"W	420.00	129.6001	199.75	271.50
C12	145.84	N87°56'23"W	450.00	127.7512	200.00	297.75
C13	146.84	N87°56'23"W	480.00	124.3523	198.25	326.00
C14	146.84	N87°56'23"W	510.00	119.5034	193.50	357.25
C15	145.84	N87°56'23"W	540.00	113.3045	185.75	391.50
C16	143.84	N87°56'23"W	570.00	105.8556	175.00	428.75
C17	140.84	N87°56'23"W	600.00	97.2567	162.25	469.00
C18	136.84	N87°56'23"W	630.00	87.6078	147.50	512.25
C19	131.84	N87°56'23"W	660.00	77.0089	130.75	558.50
C20	125.84	N87°56'23"W	690.00	65.5600	112.00	607.75
C21	118.84	N87°56'23"W	720.00	53.3611	91.25	659.00
C22	110.84	N87°56'23"W	750.00	40.6122	68.50	712.25
C23	101.84	N87°56'23"W	780.00	27.5133	43.75	767.50
C24	91.84	N87°56'23"W	810.00	14.2644	17.00	824.75
C25	81.84	N87°56'23"W	840.00	1.0155	-11.75	883.00

CURVE	ARC	CHORD BEARING	RADIUS	DELTA	CHORD	TANGENT
C1	98.39	N84°49'11"W	254.99	22.2127	58.27	59.39
C2	248.89	N84°49'11"W	637.49	55.2277	139.44	142.89
C3	351.39	N13°19'42"E	924.50	33.0025	198.30	217.80
C4	408.89	N13°19'42"E	1217.00	37.0022	266.99	283.00
C5	428.39	N13°19'42"E	1510.00	39.0019	337.13	353.00
C6	408.89	N13°19'42"E	1802.50	39.0016	409.00	428.00
C7	351.39	N13°19'42"E	2095.00	37.0013	481.00	503.00
C8	248.89	N13°19'42"E	2387.50	33.0010	552.00	578.00
C9	146.39	N87°56'23"E	2680.00	27.0007	622.00	653.00
C10	44.89	N84°50'42"E	2972.50	21.0004	691.00	728.00
C11	25.39	N84°50'42"E	3265.00	15.0001	759.00	803.00
C12	25.39	N84°50'42"E	3557.50	9.0000	827.00	878.00
C13	25.39	N84°50'42"E	3850.00	3.0000	895.00	953.00
C14	25.39	N84°50'42"E	4142.50	-3.0000	963.00	1028.00
C15	25.39	N84°50'42"E	4435.00	-9.0000	1031.00	1103.00
C16	25.39	N84°50'42"E	4727.50	-15.0000	1099.00	1178.00
C17	25.39	N84°50'42"E	5020.00	-21.0000	1167.00	1253.00
C18	25.39	N84°50'42"E	5312.50	-27.0000	1235.00	1328.00
C19	25.39	N84°50'42"E	5605.00	-33.0000	1303.00	1403.00
C20	25.39	N84°50'42"E	5897.50	-39.0000	1371.00	1478.00
C21	25.39	N84°50'42"E	6190.00	-45.0000	1439.00	1553.00
C22	25.39	N84°50'42"E	6482.50	-51.0000	1507.00	1628.00
C23	25.39	N84°50'42"E	6775.00	-57.0000	1575.00	1703.00
C24	25.39	N84°50'42"E	7067.50	-63.0000	1643.00	1778.00
C25	25.39	N84°50'42"E	7360.00	-69.0000	1711.00	1853.00
C26	25.39	N84°50'42"E	7652.50	-75.0000	1779.00	1928.00
C27	25.39	N84°50'42"E	7945.00	-81.0000	1847.00	2003.00
C28	25.39	N84°50'42"E	8237.50	-87.0000	1915.00	2078.00
C29	25.39	N84°50'42"E	8530.00	-93.0000	1983.00	2153.00
C30	25.39	N84°50'42"E	8822.50	-99.0000	2051.00	2228.00
C31	25.39	N84°50'42"E	9115.00	-105.0000	2119.00	2303.00
C32	25.39	N84°50'42"E	9407.50	-111.0000	2187.00	2378.00
C33	25.39	N84°50'42"E	9700.00	-117.0000	2255.00	2453.00
C34	25.39	N84°50'42"E	9992.50	-123.0000	2323.00	2528.00
C35	25.39	N84°50'42"E	10285.00	-129.0000	2391.00	2603.00
C36	25.39	N84°50'42"E	10577.50	-135.0000	2459.00	2678.00
C37	25.39	N84°50'42"E	10870.00	-141.0000	2527.00	2753.00
C38	25.39	N84°50'42"E	11162.50	-147.0000	2595.00	2828.00
C39	25.39	N84°50'42"E	11455.00	-153.0000	2663.00	2903.00
C40	25.39	N84°50'42"E	11747.50	-159.0000	2731.00	2978.00
C41	25.39	N84°50'42"E	12040.00	-165.0000	2799.00	3053.00
C42	25.39	N84°50'42"E	12332.50	-171.0000	2867.00	3128.00
C43	25.39	N84°50'42"E	12625.00	-177.0000	2935.00	3203.00
C44	25.39	N84°50'42"E	12917.50	-183.0000	3003.00	3278.00
C45	25.39	N84°50'42"E	13210.00	-189.0000	3071.00	3353.00
C46	25.39	N84°50'42"E	13502.50	-195.0000	3139.00	3428.00
C47	25.39	N84°50'42"E	13795.00	-201.0000	3207.00	3503.00
C48	25.39	N84°50'42"E	14087.50	-207.0000	3275.00	3578.00
C49	25.39	N84°50'42"E	14380.00	-213.0000	3343.00	3653.00
C50	25.39	N84°50'42"E	14672.50	-219.0000	3411.00	3728.00
C51	25.39	N84°50'42"E	14965.00	-225.0000	3479.00	3803.00
C52	25.39	N84°50'42"E	15257.50	-231.0000	3547.00	3878.00
C53	25.39	N84°50'42"E	15550.00	-237.0000	3615.00	3953.00
C54	25.39	N84°50'42"E	15842.50	-243.0000	3683.00	4028.00
C55	25.39	N84°50'42"E	16135.00	-249.0000	3751.00	4103.00
C56	25.39	N84°50'42"E	16427.50	-255.0000	3819.00	4178.00
C57	25.39	N84°50'42"E	16720.00	-261.0000	3887.00	4253.00
C58	25.39	N84°50'42"E	17012.50	-267.0000	3955.00	4328.00
C59	25.39	N84°50'42"E	17305.00	-273.0000	4023.00	4403.00
C60	25.39	N84°50'42"E	17597.50	-279.0000	4091.00	4478.00
C61	25.39	N84°50'42"E	17890.00	-285.0000	4159.00	4553.00
C62	25.39	N84°50'42"E	18182.50	-291.0000	4227.00	4628.00
C63	25.39	N84°50'42"E	18475.00	-297.0000	4295.00	4703.00
C64	25.39	N84°50'42"E	18767.50	-303.0000	4363.00	4778.00
C65	25.39	N84°50'42"E	19060.00	-309.0000	4431.00	4853.00
C66	25.39	N84°50'42"E	19352.50	-315.0000	4499.00	4928.00
C67	25.39	N84°50'42"E	19645.00	-321.0000	4567.00	5003.00
C68	25.39	N84°50'42"E	19937.50	-327.0000	4635.00	5078.00
C69	25.39	N84°50'42"E	20230.00	-333.0000	4703.00	5153.00
C70	25.39	N84°50'42"E	20522.50	-339.0000	4771.00	5228.00
C71	25.39	N84°50'42"E	20815.00	-345.0000	4839.00	5303.00
C72	25.39	N84°50'42"E	21107.50	-351.0000	4907.00	5378.00
C73	25.39	N84°50'42"E	21400.00	-357.0000	4975.00	5453.00
C74	25.39	N84°50'42"E	21692.50	-363.0000	5043.00	5528.00
C75	25.39	N84°50'42"E	21985.00	-369.0000	5111.00	5603.00
C76	25.39	N84°50'42"E	22277.50	-375.0000	5179.00	5678.00
C77	25.39	N84°50'42"E	22570.00	-381.0000	5247.00	5753.00
C78	25.39	N84°50'42"E	22862.50	-387.0000	5315.00	5828.00
C79	25.39	N84°50'42"E	23155.00	-393.0000	5383.00	5903.00
C80	25.39	N84°50'42"E	23447.50	-399.0000	5451.00	5978.00
C81	25.39	N84°50'42"E	23740.00	-405.0000	5519.00	6053.00
C82	25.39	N84°50'42"E	24032.50	-411.0000	5587.00	

Municipality: 012 Salem

Property Ownership

Parcel Number: 65-4-120-044-0101

Legal Name/Ownership

STEPHEN C MILLS

Property Address

7310 265TH AVE

Assessment as of : 1/01/2015 +

Assessed Land : 234,600

Assessed Improved: 290,500

Assessment Total : 525,100

Mail-To Address

STEPHEN C MILLS

4015 80TH ST

KENOSHA, WI 53142

Current as of : Last Posting

Heated Square Foot: 4,079

Garage Square Foot:

Actual Frontage :

Effective Frontage:

Effective Depth :

Total Acres :

Document # 1528073

Abbrev Metes/Bounds Legal Desc +

1553-F-1 UNIT 1 IN THE RESERVE

CONDO PLAT# 8030 DOC# 1466266

AND 1ST ADDENDUM DOC# 1536801

PRT NE 1/4 & SE 1/4 OF SE 1/4

SEC 4 T 1 R 20

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt

F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land

F17=Prop Hist F18=Pol Distr

F15=Print Property

Municipality: 012
Parcel Number: 65-4-120-044-0102

Salem

Legal Name/Ownership
MILLS ENTERPRISES LLC

Property Address
265TH AVE

Assessment as of : 1/01/2015 +
Assessed Land : 149,400
Assessed Improved: 0
Assessment Total : 149,400

Mail-To Address
MILLS ENTERPRISES LLC
4015 80TH ST
KENOSHA, WI 53142

Current as of : Last Posting
Heated Square Foot:
Garage Square Foot:
Actual Frontage :
Effective Frontage:
Effective Depth :
Total Acres :

Document # 1717306
Abbrev Metes/Bounds Legal Desc +
1553-F-1 UNIT 2 IN THE RESERVE
CONDO PLAT# 8030 DOC# 1466266
AND 1ST ADDENDUM DOC# 1536801
PRT NE 1/4 & SE 1/4 OF SE 1/4
SEC 4 T 1 R 20

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt
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Municipality: 012

Salem

Property Ownership

Parcel Number: 65-4-120-044-0103

Legal Name/Ownership

MILLS ENTERPRISES LLC

Property Address

265TH AVE

Assessment as of : 1/01/2015 +

Assessed Land : 177,800

Assessed Improved: 0

Assessment Total : 177,800

Mail-To Address

MILLS ENTERPRISES LLC

4015 80TH ST

KENOSHA, WI 53142

Current as of : Last Posting

Heated Square Foot:

Garage Square Foot:

Actual Frontage :

Effective Frontage:

Effective Depth :

Total Acres :

Document # 1717306

Abbrev Metes/Bounds Legal Desc +

1553-F-1 UNIT 3 IN THE RESERVE

CONDO PLAT# 8030 DOC# 1466266

PRT NE 1/4 & SE 1/4 OF SE 1/4

SEC 4 T 1 R 20

See recorded doc for complete legal

V1476 P200

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt

F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land

F17=Prop Hist F18=Pol Distr

F15=Print Property

Parcel Number: 65-4-120-044-0104

Legal Name/Ownership

CRAIG T & LAURA M BAUMGARDNER

Property Address

7008 265TH AVE

Assessment as of : 1/01/2015 +
Assessed Land : 187,700
Assessed Improved: 350,200
Assessment Total : 537,900

Mail-To Address

CRAIG T & LAURA M BAUMGARDNER

37015 N FERNVIEW LN

LAKE VILLA, IL 60046

Current as of : Last Posting
Heated Square Foot: 6,060
Garage Square Foot:
Actual Frontage :
Effective Frontage:
Effective Depth :
Total Acres :

Document # 1718350

Abbrev Metes/Bounds Legal Desc +

1553-F-1 UNIT 4 IN THE RESERVE

CONDO PLAT# 8030 DOC# 1466266

PRT NE 1/4 & SE 1/4 OF SE 1/4

SEC 4 T 1 R 20

V1476 P200

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt

F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land

F17=Prop Hist F18=Pol Distr

F15=Print Property

Municipality: 012 Salem

Property Ownership

Parcel Number: 65-4-120-044-0105

Legal Name/Ownership

MILLS ENTERPRISES LLC

Property Address

265TH AVE

Assessment as of :	1/01/2015 +
Assessed Land :	186,100
Assessed Improved:	0
Assessment Total :	186,100

Mail-To Address

MILLS ENTERPRISES LLC

4015 80TH ST

KENOSHA, WI 53142

Current as of :	Last Posting
Heated Square Foot:	
Garage Square Foot:	
Actual Frontage :	
Effective Frontage:	
Effective Depth :	
Total Acres :	

Document # 1717306

Abbrev Metes/Bounds Legal Desc +

1553-F-1 UNIT 5 IN THE RESERVE

CONDO PLAT# 8030 DOC# 1466266

PRT NE 1/4 & SE 1/4 OF SE 1/4

SEC 4 T 1 R 20

V1476 P200

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt

F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land

F17=Prop Hist F18=Pol Distr

F15=Print Property

Municipality: 012

Salem

Property Ownership

Parcel Number: 65-4-120-044-0106

Legal Name/Ownership

MILLS ENTERPRISES LLC

Property Address

265TH AVE

Assessment as of :	1/01/2015 +
Assessed Land :	206,800
Assessed Improved:	0
Assessment Total :	206,800

Mail-To Address

MILLS ENTERPRISES LLC

4015 80TH ST

KENOSHA, WI 53142

Current as of :	Last Posting
Heated Square Foot:	
Garage Square Foot:	
Actual Frontage :	
Effective Frontage:	
Effective Depth :	
Total Acres :	

Document # 1717306

Abbrev Metes/Bounds Legal Desc +

1553-F-1 UNIT 6 IN THE RESERVE

CONDO PLAT# 8030 DOC# 1466266

PRT NE 1/4 & SE 1/4 OF SE 1/4

SEC 4 T 1 R 20

V1476 P200

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt

F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land

F17=Prop Hist F18=Pol Distr

F15=Print Property

Parcel Number: 65-4-120-044-0107

Legal Name/Ownership
MILLS ENTERPRISES LLC

Property Address
265TH AVE

Assessment as of : 1/01/2015 +
Assessed Land : 204,300
Assessed Improved: 0
Assessment Total : 204,300

Mail-To Address
MILLS ENTERPRISES LLC
4015 80TH ST
KENOSHA, WI 53142

Current as of : Last Posting
Heated Square Foot:
Garage Square Foot:
Actual Frontage :
Effective Frontage:
Effective Depth :
Total Acres :

Document # 1717306
Abbrev Metes/Bounds Legal Desc +
1553-F-1 UNIT 7 IN THE RESERVE
CONDO PLAT# 8030 DOC# 1466266
PRT NE 1/4 & SE 1/4 OF SE 1/4
SEC 4 T 1 R 20
V1476 P200

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt
F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land
F17=Prop Hist F18=Pol Distr F15=Print Property

Municipality: 012
Parcel Number: 65-4-120-044-0108

Salem

Legal Name/Ownership
MILLS ENTERPRISES LLC

Property Address
265TH AVE

Assessment as of : 1/01/2015 +
Assessed Land : 174,000
Assessed Improved: 0
Assessment Total : 174,000

Mail-To Address
MILLS ENTERPRISES LLC
4015 80TH ST
KENOSHA, WI 53142

Current as of : Last Posting
Heated Square Foot:
Garage Square Foot:
Actual Frontage :
Effective Frontage:
Effective Depth :
Total Acres :

Document # 1717306
Abbrev Metes/Bounds Legal Desc +
1553-F-1 UNIT 8 IN THE RESERVE
CONDO PLAT# 8030 DOC# 1466266
PRT NE 1/4 & SE 1/4 OF SE 1/4
SEC 4 T 1 R 20
V1476 P200

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt
F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land
F17=Prop Hist F18=Pol Distr F15=Print Property

Parcel Number: 65-4-120-044-0109

Legal Name/Ownership
MILLS ENTERPRISES LLC

Property Address
7017 265TH AVE

Assessment as of : 1/01/2015 +
Assessed Land : 168,400
Assessed Improved: 0
Assessment Total : 168,400

Mail-To Address
MILLS ENTERPRISES LLC
4015 80TH ST
KENOSHA, WI 53142

Current as of : Last Posting
Heated Square Foot:
Garage Square Foot:
Actual Frontage :
Effective Frontage:
Effective Depth :
Total Acres :

Document # 1717306
Abbrev Metes/Bounds Legal Desc +
1553-F-1 UNIT 9 IN THE RESERVE
CONDO PLAT# 8030 DOC# 1466266
PRT NE 1/4 & SE 1/4 OF SE 1/4
SEC 4 T 1 R 20
V1476 P200

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt
F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land
F17=Prop Hist F18=Pol Distr F15=Print Property

Parcel Number: 65-4-120-044-0110

Legal Name/Ownership

MILLS ENTERPRISES LLC

Property Address

265TH AVE

Assessment as of : 1/01/2015 +

Assessed Land : 168,000

Assessed Improved: 0

Assessment Total : 168,000

Mail-To Address

MILLS ENTERPRISES LLC

4015 80TH ST

KENOSHA, WI 53142

Current as of : Last Posting

Heated Square Foot:

Garage Square Foot:

Actual Frontage :

Effective Frontage:

Effective Depth :

Total Acres :

Document # 1717306

Abbrev Metes/Bounds Legal Desc +

1553-F-1 UNIT 10 IN THE RESERVE

CONDO PLAT# 8030 DOC# 1466266

PRT NE 1/4 & SE 1/4 OF SE 1/4

SEC 4 T 1 R 20

V1476 P200

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt

F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land

F17=Prop Hist F18=Pol Distr

F15=Print Property

Parcel Number: 65-4-120-044-0111

Legal Name/Ownership
MILLS ENTERPRISES LLC

Property Address
265TH AVE

Assessment as of : 1/01/2015 +
Assessed Land : 167,000
Assessed Improved: 0
Assessment Total : 167,000

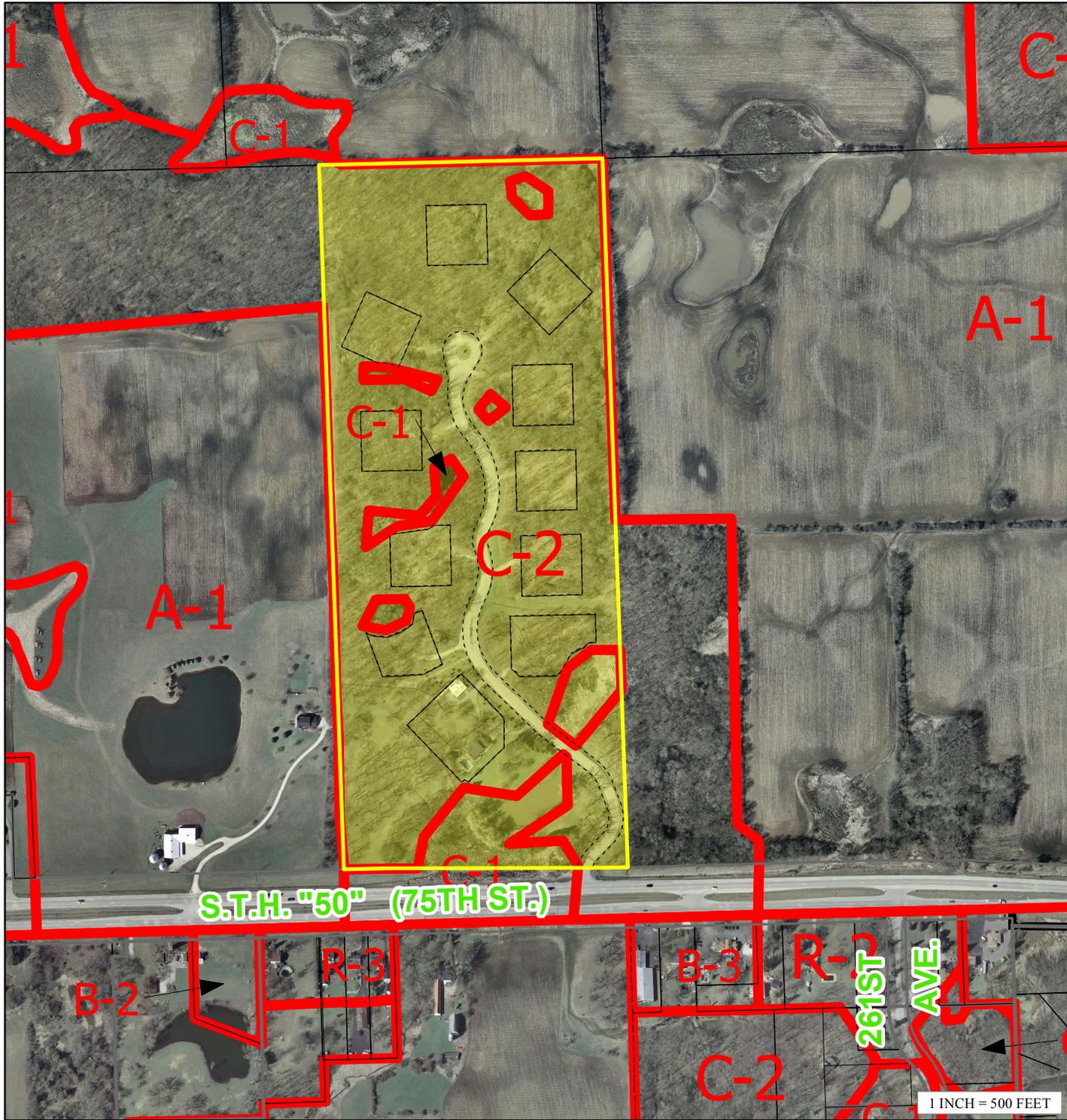
Mail-To Address
MILLS ENTERPRISES LLC
4015 80TH ST
KENOSHA, WI 53142

Current as of : Last Posting
Heated Square Foot:
Garage Square Foot:
Actual Frontage :
Effective Frontage:
Effective Depth :
Total Acres :

Document # 1717306
Abbrev Metes/Bounds Legal Desc +
1553-F-1 UNIT 11 IN THE RESERVE
CONDO PLAT# 8030 DOC# 1466266
PRT NE 1/4 & SE 1/4 OF SE 1/4
SEC 4 T 1 R 20
V1476 P200

See recorded doc for complete legal

F1=Msg F2=Fmtd Legal F3=Exit F4=Addl Metes F5=Addl Owner F6=Addl Assmt
F7=Prior Parcel F8=Next Parcel F10=Prop Tax F11=Sales F12=Gen Bldg F14=Land
F17=Prop Hist F18=Pol Distr F15=Print Property



PRELIMINARY PLAT SITE MAP

PETITIONER(S):

Stephen C. Mills, Mills Enterprises LLC and
 Craig T. and Laura M. Baumgardner (Owners),
 Dan Szczap, Bear Development LLC (Agent)

LOCATION: SE 1/4 of Section 4,
 Town of Salem

TAX PARCEL(S): #65-4-120-044-0101 thru
 #65-4-120-044-0111

REQUEST:

Requesting approval of the Preliminary
 Plat of The Reserve Subdivision





COUNTY OF KENOSHA

Department of Planning and Development

RECEIVED

MAR 02 2016

Kenosha County
Planning and Development

CONDITIONAL USE PERMIT PROCEDURES



KENOSHA COUNTY

DEPARTMENT OF PLANNING
AND DEVELOPMENT



COUNTY OF KENOSHA

Department of Planning and Development

CONDITIONAL USE PERMIT PROCEDURES

- 1. Contact the Department of Planning and Development and check with staff to determine if your proposed use is a permitted use, an accessory use or a conditional use. If it is a conditional use, then a conditional use permit must be applied for and received prior to occupying or using the site for that use. Note: If the proposed conditional use is part of a proposed land division see the Certified Survey Map Information and Procedures. If the proposed conditional use is part of a proposed rezoning petition see the Rezoning Application Form.

- 2. Contact the Department of Planning and Development and schedule a pre-conference meeting, which is required for all conditional use permit requests.
Meeting Date: 02-11-2016 w/ Denise Zirbel

- 3. Complete and submit the Kenosha County Conditional Use Permit Application by the filing deadline (see Planning, Development & Extension Education Committee Schedule handout).

- 4. Submit a copy of the date-stamped application to your local township for placement on the agenda of the Town Planning Commission and Town Board, which recommends action to the County Planning, Development & Extension Education Committee. Keep a copy for your records.

- 5. Attend the Town Planning Commission and the Town Board meetings. **NOTE:** You must attend or the Town will not be able to act on your request.
Town Planning Commission meeting date (tentative): March 16, 2016
Town Board meeting date (tentative): April 11, 2016

- 6. Attend the Planning, Development & Extension Education Committee public hearing. **NOTE:** You must attend or the Planning, Development & Extension Education Committee will not be able to act on your request. At this meeting you will be asked to brief the Committee on your request.
Kenosha County Planning, Development & Extension Education Committee meeting date: April 13, 2016
(tentative)

- 7. If denied by the Kenosha County Planning, Development & Extension Education Committee you have thirty (30) days to file an appeal with circuit court.

- 8. If approved you may proceed with obtaining site plan approval (site plan layout, stormwater, landscaping, lighting, parking/paving etc...).

- 9. Apply for and obtain any necessary zoning permit(s) for construction (i.e. new buildings, building additions, signage, fencing, etc...) with the Kenosha County Department of Planning and Development.

- 10. Apply for any obtain any necessary building permit(s) for construction (i.e. new buildings, building additions, signage, fencing, etc...) with you respective township.

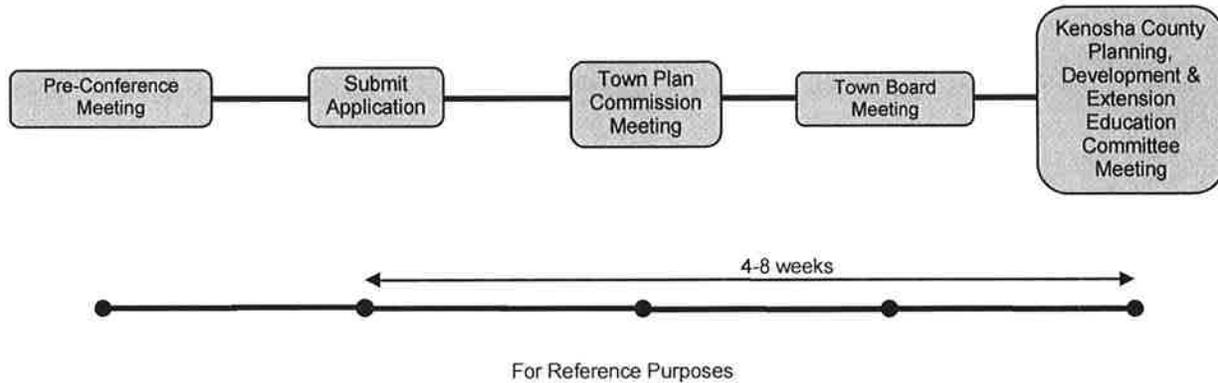
- 11. Complete any obligations for foundation survey, waiver of liability of foundation survey, stormwater as-built requirement and/or certificate of occupancy.

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center
 Department of Planning & Development
 19600 - 75th Street, Post Office Box 520
 Bristol, Wisconsin 53104-0520

Division of County Development (including Sanitation & Land Conservation)	857-1895
Facsimile #.....	857-1920
Public Works Division of Highways.....	857-1870
Administration Building	
Division of Land Information	653-2622
Brighton, Town of	878-2218
Paris, Town of	859-3006
Randall, Town of	877-2165
Salem, Town of	843-2313
Utility District	862-2371
Somers Town of	859-2822
Wheatland, Town of	537-4340
Wisconsin Department of Natural Resources - Sturtevant Office	884-2300
Wisconsin Department of Transportation - Waukesha Office	548-8722

Conditional Use Permit Timeline





COUNTY OF KENOSHA

December 2012

Department of Planning and Development

RECEIVED

MAR 02 2016

CONDITIONAL USE PERMIT APPLICATION

Kenosha County
Planning and Development

(a) Property Owner's Name:

Kenosha County Fair Association Inc.

Print Name: Denise Zirbel

Signature:

Mailing Address: PO Box 96

City: Wilmot

State: WI

Zip: 53192-0096

Phone Number: (262) 862-6121

E-mail (optional): fairmanager@kenoshacofair.com

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status signed by the legal property owner must be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: Nicholas Mulvaney

Signature:

Business Name: Wilmot Mountain Flea Market Inc.

Mailing Address: 7525 W. Ishham Avenue

City: Chicago

State: IL

Zip: 60631

Phone Number: 773-301-4773

E-mail (optional): nick54178@att.net

(c) Architect's Name (if applicable):

Print Name: _____

Signature: _____

Business Name: _____

Mailing Address: _____

City: _____

State: _____

Zip: _____

Phone Number: _____

E-mail (optional): _____

(d) Engineer's Name (if applicable):

Print Name: _____

Signature: _____

Business Name: _____

Mailing Address: _____

City: _____

State: _____

Zip: _____

Phone Number: _____

E-mail (optional): _____

CONDITIONAL USE PERMIT APPLICATION

(e) Tax key number(s) of subject site:

67-4-120-303-1261

Address of the subject site:

30820 111th Street

(f) Plan of Operation (or attach separate plan of operation)

Type of structure:

Multiple structures built from pre-1960's onward.

Proposed operation or use of the structure or site:

To use the existing Kenosha County Fairgrounds facility for operation of the Wilmot Flea Market.

Number of employees (by shift): See narrative

Hours of Operation: See page 6 of narrative.

Any outdoor entertainment? If so, please explain: See narrative

Any outdoor storage? If so, please explain: See narrative

Zoning district of the property: PR-1 Park-Recreational District

(g) Attach a plat of survey prepared by a land surveyor registered by the State of Wisconsin or site plan drawn to scale and approved by the Department of Planning and Development showing all of the information required under section 12.05-1(h)3 for a zoning permit. In addition, the plat of survey or site plan layout shall show the location, elevation and use of any abutting lands and the location and foundation elevations of structures within 50 feet of the subject site; soil mapping unit lines; ordinary high water mark, historic high water marks and floodlands on or within 50 feet of the subject premises, and existing and proposed landscaping.

CONDITIONAL USE PERMIT APPLICATION

For conditional use permit applications that are made within shoreland and floodland areas, such description shall also include information that is necessary for the County Planning, Development & Extension Education Committee to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human, animal or aquatic life. This additional information may include plans, certified by a registered professional engineer or land surveyor, showing existing and proposed elevations or contours of the ground; fill or storage elevation; basement and first floor elevations of structures; size, location, and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets water supply and sanitary facilities; aerial photographs, and photographs showing existing surrounding land uses and vegetation upstream and downstream; soil types and any other pertinent information required by either the Planning, Development & Extension Education Committee or the Office of Planning and Zoning Administration:

(h) The Kenosha County Department of Planning and Development may ask for additional information.

(i) The fee specified in Section 12.05-8 of this ordinance.

Request for Conditional Use Permit \$750.00

(For other fees see the Fee Schedule)

RECEIVED

MAR 02 2016

Kenosha County
Planning and Development

Wilmot Mountain Flea Market INC.

Flea Market & Entertainment Complex

Locate at the

Kenosha County Fairgrounds

30820 11th Avenue

Wilmot, WI. 53192

Denise Zirbel, Nicholas Mulvaney

February 23, 2016

Kenosha County Planning, Development & Extension Education Committee
C/O Kenosha County Department of Planning and Development
Division of County Development 19600 75th
Street, Suite 185-3
Bristol, WI. 53104

The purpose of this petition is to transfer the existing permit for "Wilmot Mountain Flea Market" event from Wilmot Mountain Ski Hill to the Kenosha County Fairgrounds with the application and approval of a conditional use permit.

Present Zoning: PR-1 Park-Recreation District, C-1 Lowland
Conservancy District & FPO Floodplain Overlay District

Tax Parcel Number:

67-4-120-303-1261

Detailing Information: (see attached documentation)

Letter of Agent Status:

Site Plan: (See attached site plan)

Existing Sanitation:

Stormwater Drainage Plan:

Architectural Plans:

Filing Fee: \$750.00 payable to Kenosha County (see attached payment)

Agent:



Wilmot Mountain Flea Market INC. – Nick Mulvaney



Kenosha County Fair Association Inc. – Denise Zirbel

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- 1.2 Mission
- 1.3 Keys to Success

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- 2.2 Company Location and Facilities

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- 3.1 Product Description
- 3.2 Competitive Comparison
- 3.3 Sales Literature
- 3.4 Fulfillment

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- 4.1 Target Market Segment Strategy
- 4.2 Service Business Analysis
 - 4.2.1 Business Participants
 - 4.2.2 Distributing a Service
 - 4.2.3 Competition and Buying Patterns

5.0 Strategy and Implementation

6.0 Management Summary - Wilmot Mountain Flea Market INC

- 6.1 Management Summary - Wilmot Mountain INC
- 6.2 Personnel Plan

Addendum

Map of Kenosha County Fairground parking lot and entry way from Google world to show available parking and vendor spots
Map of Wilmot Market vendor spaces
Live pictures of other outdoor venues

Wilmot Mountain Flea Market INC. – Business Plan

1.0 Executive Summary

If approved, Wilmot Mountain Flea Market INC 2016 intends on operating its core business as a flea market catering to the needs of Northeastern McHenry, Northwestern Lake, Southwestern Walworth, Southeastern Kenosha and Racine counties. Wilmot Mountain Flea Market hopes to achieve a “take all-comers” re-sale attitude. Whether it be a local farmer trying to sell their produce, a local antique dealer, or any individual attempting to supplement their income on a part time basis. Wilmot Mountain Flea Market hopes to be the **outdoor flea market venue of choice** in all of these counties.

- Wilmot Mountain Flea Market will operate at the Kenosha County Fairgrounds. The intent of this venture was to bring back the American entrepreneurial spirit by supporting our local businesses and residents in these tough economic times.

Two of the top keys to continuing success are:

- It’s location – directing in the heart of a heavily populated summer vacation center (The Chain of Lakes, Twin Lakes, Lake Geneva, and several state parks/camping grounds).
- The creativity, energy, experience and drive of its founders, who are committed to offering a **safe, clean, family oriented open air shopping and entertainment environment** intended to be complimentary to local business, residents and vendors, by offering a unique shopping and entertainment venue and employment opportunities.

Industry competition is limited to two flea markets and several entertainment complexes within a 50 mile radius for Wilmot Mountain Flea Market.

1.1 Objectives

1. To realize the entrepreneurial spirit of its founders by offering an affordable, safe, clean, family oriented shopping and entertainment alternative that support local residents and businesses.
2. To help supplement Wilmot Mountain Ski Lodge during the off season.
3. To compliment local businesses in need of additional spring, summer, and fall exposure.
4. To hire locally to help the local economy.

1.2 Mission

Residents of Northeastern McHenry, Northwestern Lake, Southeastern Kenosha, Southwestern Walworth and Racine counties are motivated to find the most cost effective shopping venue that support their lifestyles in these economic times. These same residents are also looking to find a cost effective entertainment venue to help ease the burden of trying to stay ahead financially.

As these counties continue to develop, the local mom and pop businesses are finding it harder to compete with the big box strip mall outlets that are developing all over our area. As the economy slips and more jobs move out the U.S. local residents need an outlet to augment their financial situation.

Wilmot Mountain Flea Market hopes to level the playing field by providing this outlet once a week at the doorstep of our community. This outlet will provide unique new and used products that are not available at the same 10 retail stores per strip mall. This outlet will also provide a cost conscience means of offering entertainment for those who choose to holiday and vacation within the community.

1.3 Keys to Success

1. It's location - directly in the heart of a heavily populated summer vacation center (The Chain of Lakes, Twin Lakes, Lake Geneva, and several state parks/camping grounds). The open air market will be located at the Kenosha County Fairgrounds.
2. The creativity, energy, experience and drive of its founders, who are committed to offering a **safe, clean, family oriented open air shopping and entertainment environment.**
3. Developing visibility and credibility to attract the right vendors and customers to shop and enjoy our location during the summer months.
4. Leveraging the great location of an already established successful winter outlet.
5. Maintaining a continual insight and enforcement of our end state vision, a Clean, Safe and Family Oriented shopping and entertainment environment.
6. Robust advertising and marketing blitz leveraging:
 - a. Door to door local business and farm visits.
 - b. Attracting resellers, crafters, antique dealers (currently available within the public domain) via fliers, coupons, direct mass mailings, phone calls, house visits, and email solicitation.
 - c. Attracting sellers and customers via the founding members resale network.
 - d. Investing in at least 10 different local newspaper ads months prior to and after opening day.
 - e. Investing in professional road signage.
 - f. Investing in local radio spots and "on the scene", broadcasting.
7. Hiring the right employees.
8. Hiring locally first.

2.0 2016 Company Summary

2016 Flea Market Overview - Wilmot Mountain Flea Market will operate an open air flea market within the Kenosha County Fairgrounds in Salem Township, Wilmot, WI. The market will be:

- Open on Saturday and Sunday's on or after May 1st. through October 30th
- Open to the public between the hours of 7:00 a.m. - 2:00 p.m.
- Charging \$1.00 for Shoppers and \$0 for Kids 6 and under.
- Charging \$20.00 for vendor spaces
- Offering Free Parking

At full capacity, Wilmot Mountain Flea Market will have 300 "22 X 15" feet vendor spaces available for rent and thousands of visitors. The traffic will be controlled inside and outside of the market by safety conscience professionals. Restroom facilities will be made available by using the existing Kenosha County Fairground restroom facilities. The products being sold will be any new or used items that do not violate the vendor's rules and regulations

2.1 Company Ownership

Wilmot Mountain Flea Market INC is a company owned and operated by its principle operators.

2.2 Company, Location, and Facility

Wilmot Mountain Flea Market will be located at the Kenosha County Fairgrounds.

3.0 Services

Wilmot Mountain Flea Market hopes to offer a multi venue open air family shopping and entertainment environment intended to support local farmers, crafters, resellers, people who have garage sales a unique shopping alternative to the big box chain retail outlets as well as a local entertainment outlet for the cost conscience consumer looking to SUPPORT OUR LOCAL AMERICANS.

3.1 Product Descriptions

The products that Wilmot Mountain Flea Market offers will be different each week and month. That is part of the attraction and what helps differentiate this venue from the same stores that offer the same products daily. The niche of Wilmot Mountain Flea Market will be that shoppers will leave knowing that they have helped local businesses flourish while achieving their low expense excursion. The other product is an intangible "entertainment experience" aimed at engraining the best memories locally while supporting those in need of financial support.

3.2 Sales Literature

The market will begin its advertising and recruiting campaign as soon as we receive written approval from Salem township and the County of Kenosha. There will be radio ads, several running newspaper ads, local business visits, mass mailings and other marketing outlets to really help make this season a success.

3.3 Fulfillment

1. The key fulfillment and delivery will be provided by the principles of the business. The core value is professional dedication and hard work with a combination of resale experience, knowledge of the resale environment, and effective management.
2. We will turn to assistance from qualified professionals for creative input, marketing strategies, accounting representation, and additional market input. However the principles of the business will maintain the responsibility over all final decisions surrounding the market.

3.4 Technology

1. Wilmot Mountain Flea Market will maintain its daily accounting and sales tracking by use of QuickBooks.

4.0 Market Analysis Summary

Wilmot Mountain Flea Market will be marketing to local families, vacationers, and residents around a 50 mile radius of the parking lot. The typical customer will be a bargain shopper, antique collector, art and crafts enthusiasts, and organic fruit and vegetable shoppers looking for a truly different affordable shopping environment or any customer looking to spend a cost conscience entertainment outing.

4.1 Target Market Segment Strategy

The products at our market will be primarily sold to individuals in search of a great value, valuable treasures, unique artifacts, or any new or used product that our vendors will bring each week.

The entertainment market will be primarily sold to those who are looking for an inexpensive local establishment to enjoy the multi facets of the entertainment complex.

4.2 Service Business Analysis

SPECIALTY SHOWS AND FLEA MARKET

The independent resale market is a declining mainstream industry. Internet sales and big box stores have pushed most of these resale dealers and vendors to a point where they must all join forces to offer the same size shopping experience within a unique competitive venue for shoppers and sellers. This uniqueness is what America is starving for and will be the main driver for those who have not fallen to the corporate chains that have the same inventory week after week.

4.2.1 Business Participants

SPECIALTY SHOWS AND FLEA MARKET

At one end of the spectrum are the large discount stores, swap meets, or flea markets that include the same inventory with the same vendors weekly. These companies offer products at discounted rates, but they do not offer individuality, only offering the same products that their contracted designers or reserved vendors provide. In order to compete with these types of companies, we will offer products that will change on a weekly basis. We will offer products that sell at comparable prices but provide more individuality than the larger stores.

At the intermediate to large level are the well-known "mega chain strip malls", that house the same 10 stores everywhere you go in America. These companies maintain a large amount of inventory so that they frequently offer products at discounted rates. Our market will be unique from these stores because we will offer products and services of local "mom and pop", businesses whose entrepreneurial spirit will be represented in their products. Because of the availability of space it will be a different "store" with different products every week.

4.2.2 Distributing a Service

Wilmot Mountain Flea Market is already established and is being discovered weekly. Our relationships in the resale "circuit" and great relationships with our customers and vendors are by far the most important factors in the success of this market. This mantra has been dubbed as the "Most Friendliest Little Flea Market That I have visited in a Long Time", by Steve Wilko's of the Steve Wilko's show and has been offered as one of the top 10 things to do this weekend in the local Milwaukee News T.V. distribution.

In order to continue this success, we will need to attract and retain vendors and customers to our location and keep them coming back by reliability and consistently offering unique, high value merchandise at competitive prices as well as one of the greatest entertainment experiences that they have been a part of.

We will also maintain a state of the art database management system to track our finances, maintain communication with our customers, vendors, suppliers, and cost tracking.

4.2.3 Competition and Buying Patterns

The key element in maintaining customer support is a never ending process of monitoring which products and vendors are attractive to our customers and the fact that there will be new vendors and merchandise every week. The key in maintaining a high capacity of vendors and is a never ending process of marketing enough to keep the customers coming. It will be important to stay involved with the community to stay true to our support of local resident buyers and sellers. Our competition is limited and the fact that this unique venue is located on a long standing winter recreation venue will help those who are already familiar with making their way up to the hills in the winter that much more enjoyable in the summer. Typically markets like this offer lower prices than most stores which will ultimately drive our customers buying habits.

The key element to our entertainment arm is the same marketing and customer experience that has held us in high regard to our vendors and shoppers. Our competitive prices over other "SHOWS" will assure that future customers will frequent this venue.

5.0 Strategy and Implementation Summary

Wilmot Mountain Flea Market INC. will continue to focus geographically on Antioch, Randall, Salem, Twin Lakes, Lake Geneva, Spring Grove, Fox Lake, McHenry, Richmond, Gurnee, Volo, Lake Villa, Lindenhurst, Genoa City, Kenosha, Pleasant Prairie, Bristol, Paddock Lake, Towns as well as any other surrounding town within a 50 mile radius of the Market. Wilmot Mountain Flea Market will target bargain hunters who are searching for unique products priced lower than most strip mall stores.

6.0 Management Summary – Wilmot Mountain Flea Market INC

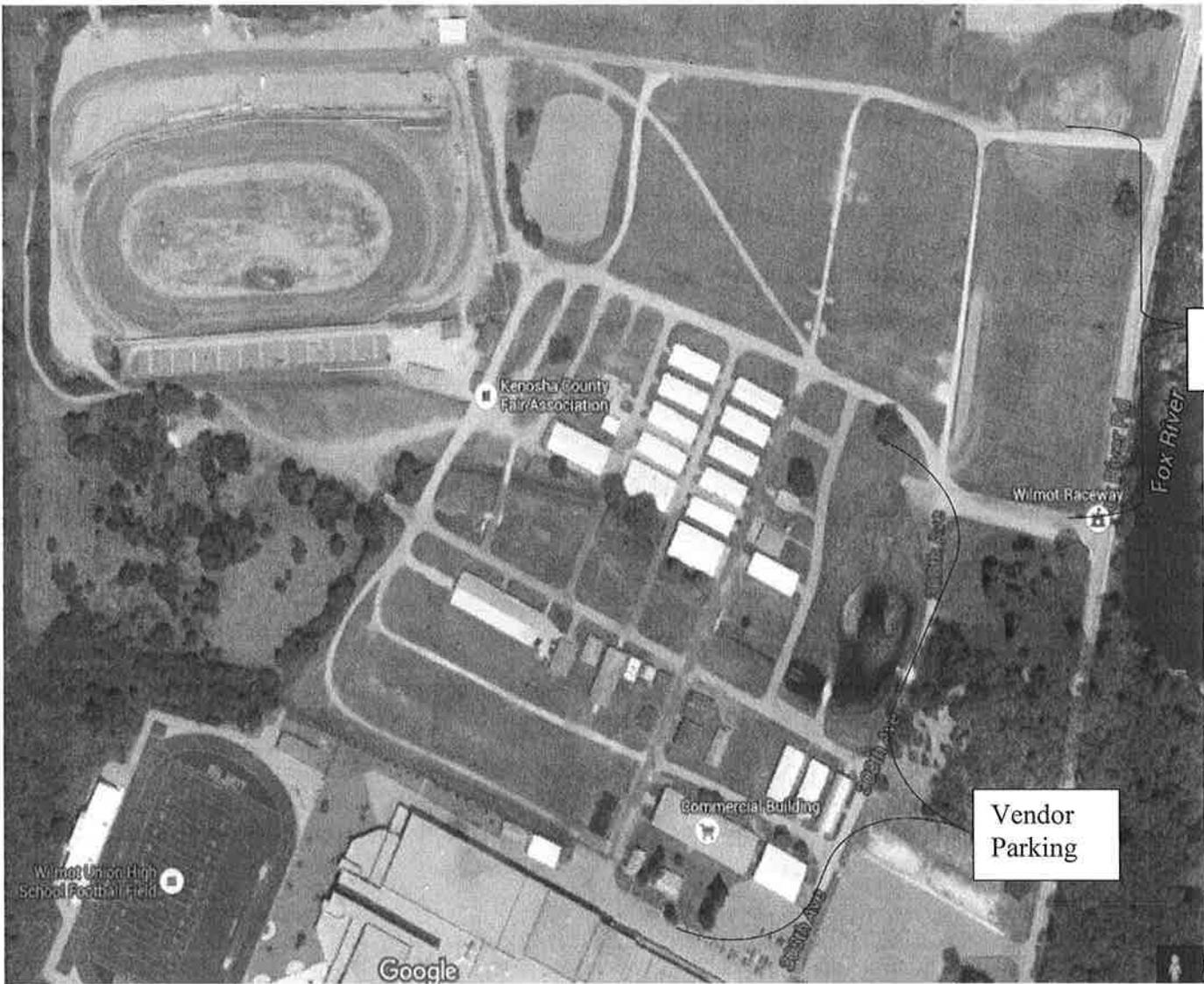
* Nicholas Mulvaney is employed by the City of Chicago and an owner operator of a local north side pub and owner/operator of the Wilmot Mountain Flea Market. He brings years of business and management experience to the Wilmot Mountain Flea Market business. Nicholas is also a local Lake County real estate investor who looks to root his family in this area in the near future.

6.1 Management Summary - Wilmot Mountain INC

* Denise Zirbel is the Fair Manager of Kenosha County Fair Association, Inc. Her role in this business will be that of oversight and the sales of all immediate consumable concessions.

6.2 Personnel Plan

Initially, Wilmot Mountain Flea Market will employ personnel to help with the parking lot cleaning and traffic control both inside and outside of the Market. Wilmot Mountain Flea Market will employ part time Kenosha County Law Enforcement as well. Nick will be on hand weekly and will also seek the help of friends and family until the Market is completely operationalized as the Market expands into more shows the hiring will be that of the local residents of Salem Township, Twin Lakes, and Randall Wisconsin.



Property of Wilmot Mountain Flea Market INC. Not for reproduction, publication or distribution.



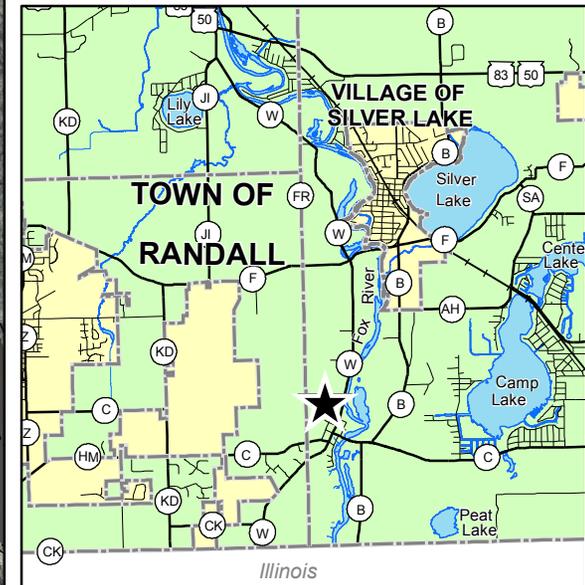
CONDITIONAL USE SITE MAP

PETITIONER(S):
 Kenosha County Fair Association(Owner),
 Nicholas Mulvaney (Agent)

LOCATION: W 1/2 of Section 30,
 Town of Salem

TAX PARCEL(S): #67-4-120-303-1261

REQUEST:
 Requesting a conditional use permit to
 allow a three-year flea market use in the
 PR-1 Park-Recreational District





COUNTY OF KENOSHA

Department of Planning and Development

RECEIVED

DEC 18 2015

Kenosha County
Deputy County Clerk



KENOSHA COUNTY

DEPARTMENT OF PLANNING
AND DEVELOPMENT



COUNTY OF KENOSHA

Department of Planning & Development

KENOSHA COUNTY REZONING PROCEDURES

1. Contact the Department of Planning & Development and check with staff to determine if your proposed zoning change meets the requirements for the Kenosha County General Zoning and Shoreland/Floodplain Zoning Ordinance and the Kenosha County Subdivision Control Ordinance. Note: If the proposed rezoning is part of a proposed land division see the Certified Survey Map Information and Procedures.

2. Contact the Department of Planning & Development and schedule a pre-conference meeting, which is required for all rezoning requests.

Meeting Date: _____

3. Contact your local Town to determine if your rezoning petition requires preliminary approval.

4. Complete and submit the Kenosha County Rezoning Application by the filing deadline (see Planning, Development & Extension Education Committee Schedule handout).

6. Submit a copy of the date-stamped application to your local township for placement on the agenda of the Town Planning Commission and Town Board, which recommends action to the County Planning, Development & Extension Education Committee. Keep a copy for your records.

7. Attend the Town Planning Commission and the Town Board meetings. **NOTE:** You must attend or the Town will not be able to act on your request.

Town Planning Commission meeting date (tentative): _____

Town Board meeting date (tentative): _____

8. Attend the Planning, Development & Extension Education Committee public hearing. **NOTE:** You must attend or the Planning, Development & Extension Education Committee will not be able to act on your request. At this meeting you will be asked to brief the Committee on your request.

Kenosha County Planning, Development & Extension Education Committee meeting date: _____
(tentative)

9. Planning, Development & Extension Education Committee recommends either approval and adopts a resolution or denial and transmits recommendation to the Kenosha County Board of Supervisors. No action is required from the applicant at this time.

If approved, County Board of Supervisors either approves or denies the amendment.

If denied by the Kenosha County Board of Supervisors you have thirty (30) days to file an appeal with circuit court if you so choose.

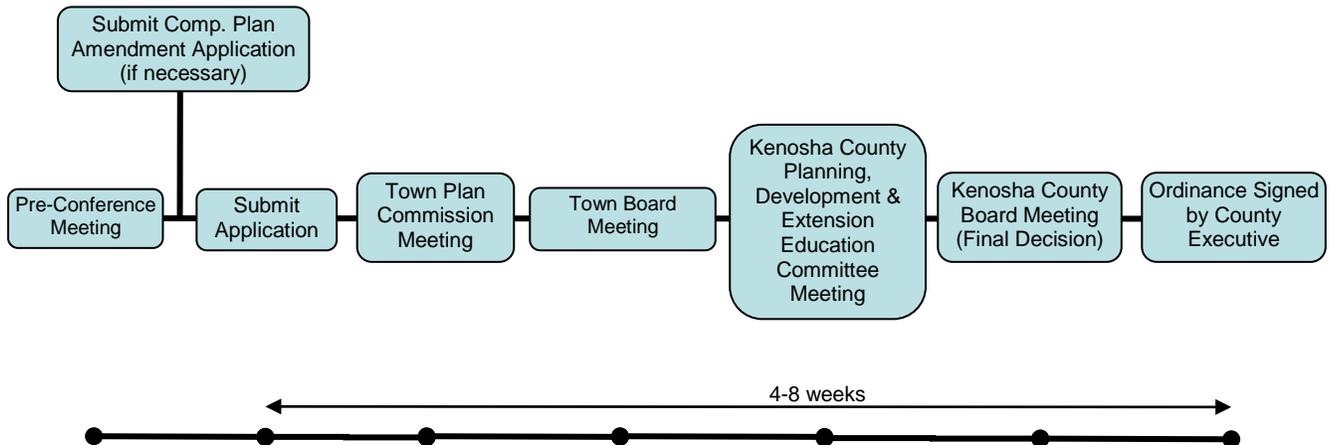
10. After the County Executive has signed the official ordinance document amending the Kenosha County Zoning Map, you will be notified of your approval in writing. Upon notification of approval, you may proceed with recording any necessary deeds.

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center
 Department of Planning & Development
 19600 - 75th Street, Suite 185-3
 Bristol, Wisconsin 53104-9772

Division of Planning & Development (including Sanitation & Land Conservation).....	857-1895
Facsimile #.....	857-1920
Public Works Division of Highways	857-1870
Administration Building	
Division of Land Information.....	653-2622
Brighton, Town of	878-2218
Paris, Town of	859-3006
Randall, Town of.....	877-2165
Salem, Town of	843-2313
Utility District.....	862-2371
Somers Town of	859-2822
Wheatland, Town of.....	537-4340
Wisconsin Department of Natural Resources - Sturtevant Office	884-2300
Wisconsin Department of Transportation - Waukesha Office	548-8722

Rezoning Procedure Timeline



For Reference Purposes



May 2013

COUNTY OF KENOSHA

Department of Planning and Development

RECEIVED

DEC 18 2015

REZONING APPLICATION

Kenosha County
Deputy County Clerk

(a) Property Owner's Name:

Northern Alpine Group LLC

Print Name: _____

Signature: Mary Ochoa-Petersen

Mailing Address: 31401 60th Street

City: Salem State: WI Zip: 53168

Phone Number: 262-770-7367 E-mail (optional): maryochoapetersenmop@gmail.com

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status **signed** by the legal property owner **must** be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: Mary Ochoa-Petersen Signature: _____

Business Name: _____

Mailing Address: 31401 60th Street

City: Salem State: WI Zip: 53168

Phone Number: 262-770-7367 E-mail (optional): maryochoapetersenmop@gmail.com

(c) Tax key number(s) of property to be rezoned:

95-4-119-011-0102 _____

95-4-119-011-0104 _____

Property Address of property to be rezoned:

60TH ST (95-4-119-011-0102) & 60TH ST (95-4-119-011-0104)

(d) Proposed use (a statement of the type, extent, area, etc. of any development project):

To rezone the two aforementioned parcels to the A-2 General Agricultural District so that they can combined to the larger adjacent parcel to the south (95-4-119-011-0101).



COUNTY OF KENOSHA

Department of Planning and Development

REZONING APPLICATION

(a) Property Owner's Name:

Print Name: _____ Signature: _____

Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone Number: _____ E-mail (optional): _____

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status **signed** by the legal property owner **must** be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: _____ Signature: _____

Business Name: _____

Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone Number: _____ E-mail (optional): _____

(c) Tax key number(s) of property to be rezoned:

Property Address of property to be rezoned:

(d) Proposed use (a statement of the type, extent, area, etc. of any development project):

REZONING APPLICATION

(e) Check the box next to any and all of the **existing** zoning district classifications present on the subject property:

A-1 Agricultural Preservation District	TCO Town Center Overlay District
A-2 General Agricultural District	B-1 Neighborhood Business District
A-3 Agricultural Related Manufacturing, Warehousing and Marketing District	B-2 Community Business District
A-4 Agricultural Land Holding District	B-3 Highway Business District
AE-1 Agricultural Equestrian Cluster Single-Family District	B-4 Planned Business District
R-1 Rural Residential District	B-5 Wholesale Trade and Warehousing District
R-2 Suburban Single-Family Residential District	BP-1 Business Park District
R-3 Urban Single-Family Residential District	B-94 Interstate Highway 94 Special Use Business District
R-4 Urban Single-Family Residential District	M-1 Limited Manufacturing District
R-5 Urban Single-Family Residential District	M-2 Heavy Manufacturing District
R-6 Urban Single-Family Residential District	M-3 Mineral Extraction District
R-7 Suburban Two-Family and Three-Family Residential District	M-4 Sanitary Landfill and Hazardous Waste Disposal District
R-8 Urban Two-Family Residential District	I-1 Institutional District
R-9 Multiple-Family Residential District	PR-1 Park-Recreational District
R-10 Multiple-Family Residential District	C-1 Lowland Resource Conservancy District
R-11 Multiple-Family Residential District	C-2 Upland Resource Conservancy District
R-12 Mobile Home/Manufactured Home Park-Subdivision District	FPO Floodplain Overlay District
HO Historical Overlay District	FWO Camp Lake/Center Lake Floodway Overlay District
PUD Planned Unit Development Overlay District	FFO Camp Lake/Center Lake Floodplain Fringe Overlay District
AO Airport Overlay District	
RC Rural Cluster Development Overlay District	

(f) Check the box next to any and all of the **proposed** zoning district classifications proposed for the subject property:

A-1 Agricultural Preservation District	TCO Town Center Overlay District
A-2 General Agricultural District	B-1 Neighborhood Business District
A-3 Agricultural Related Manufacturing, Warehousing and Marketing District	B-2 Community Business District
A-4 Agricultural Land Holding District	B-3 Highway Business District
AE-1 Agricultural Equestrian Cluster Single-Family District	B-4 Planned Business District
R-1 Rural Residential District	B-5 Wholesale Trade and Warehousing District
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R-6 Urban Single-Family Residential District	M-3 Mineral Extraction District
R-7 Suburban Two-Family and Three-Family Residential District	M-4 Sanitary Landfill and Hazardous Waste Disposal District
R-8 Urban Two-Family Residential District	I-1 Institutional District
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R-11 Multiple-Family Residential District	C-2 Upland Resource Conservancy District
R-12 Mobile Home/Manufactured Home Park-Subdivision District	FPO Floodplain Overlay District
HO Historical Overlay District	FWO Camp Lake/Center Lake Floodway Overlay District
PUD Planned Unit Development Overlay District	FFO Camp Lake/Center Lake Floodplain Fringe Overlay District
AO Airport Overlay District	
RC Rural Cluster Development Overlay District	

REZONING APPLICATION

Said rezoning action is exempt from needing to be consistent with adopted land use plan pursuant to the following exemption clause adopted with the 2010-2011 Annual Report: Minor lot line adjustments between two different, but adjacent, land use districts or categories that do not create substandard or nonconforming lots will not require an amendment to the multi-jurisdictional comprehensive plan.

(g) Your request must be consistent with the existing planned land use category as shown on Map 65 of the adopted "[Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035](#)".

The existing planned land use category for the subject property is:

Farmland Protection	Governmental and Institutional
General Agricultural and Open Land	Park and Recreational
Rural-Density Residential	Street and Highway Right-of-Way
Agricultural and Rural Density Residential	Other Transportation, Communication, and Utility
Suburban-Density Residential	Extractive
Medium-Density Residential	Landfill
High-Density Residential	Primary Environmental Corridor
Mixed Use	Secondary Environmental Corridor
Commercial	Isolated Natural Resource Area
Office/Professional Services	Other Conservancy Land to be Preserved
Industrial	Nonfarmed Wetland
Business/Industrial Park	Surface Water

(h) Attach a plot plan or survey plat of property to be rezoned (showing location, dimensions, zoning of adjacent properties, existing uses and buildings of adjacent properties, floodways and floodplains)—drawn to scale.

(i) The Kenosha County Department of Planning and Development may ask for additional information.

(j) The name of the County Supervisor of the district wherein the property is located ([District Map](#)):

Supervisory District Number: _____ County Board Supervisor: _____

(k) The fee specified in Section 12.05-8 of this ordinance.

Request for Rezoning Petition\$750.00

(For other fees see the [Fee Schedule](#))

Note: Agricultural Use Conversion Charge

The use value assessment system values agricultural land based on the income that would be generated from its rental for agricultural use rather than its fair market value. When a person converts agricultural land to a non-agricultural use (e.g. residential or commercial development), that person may owe a conversion charge. To obtain more information about the use value law or conversion charge, contact the Wisconsin Department of Revenue's Equalization Section at 608-266-2149 or visit <http://www.revenue.wi.gov/faqs/slf/useassmt.html>.

Note that the act of rezoning property from an agricultural zoning district to a non-agricultural zoning district does not necessarily trigger the agricultural use conversion charge. It is when the use of the property changes from agricultural that the conversion charge is assessed.

PARCEL COMBINATION (AFFIDAVIT)

Name of Owners (as on deed):

Northern Alpine Group LLC

Tax Parcel Numbers of those parcels to be combined:

95-4-119-011-0101

95-4-119-011-0102

95-4-119-011-0104

Legal Descriptions of those parcels to be combined:

LOTS I, II & IV OF CERTIFIED SURVEY MAP #2687, BEING PART OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 1 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN, AND RECORDED AS DOCUMENT #1652608 WITH THE KENOSHA COUNTY REGISTER OF DEEDS, SAID LAND LYING AND BEING IN THE TOWN OF WHEATLAND, COUNTY OF KENOSHA, STATE OF WISCONSIN.

RETURN TO:
Kenosha County
Division of Land Information
1010 56th Street
Kenosha WI 53140

Parcel ID Numbers

95-4-119-011-0101
95-4-119-011-0102
95-4-119-011-0104

WHEREAS, the above referenced parcels are being combined for compliance with the Kenosha County General Zoning and Shoreland/Floodplain Zoning Ordinance and/or Kenosha County Subdivision Control Ordinance, and/or Kenosha County Sanitary Ordinance (or)

~~WHEREAS, the above referenced parcels are being combined per Section 70.28 of Wisconsin State Statutes,~~

STRIKE THE ABOVE PARAGRAPH WHICH DOES NOT APPLY

WHEREAS, the combination of the above referenced parcels is in compliance with the Kenosha County General Zoning and Shoreland/Floodplain Zoning Ordinance, Kenosha County Subdivision Control Ordinance, and Kenosha County Sanitary Ordinance, and

WHEREAS, the parcels are contiguous; and

WHEREAS, the ownership of the parcels is identical; and

WHEREAS, all delinquent taxes have been paid in full;

NOW, THEREFORE, the owner(s) does (do) agree and understand that the above referenced parcels shall be combined and shall not be split apart without the approval of the Kenosha County Office of Planning and Development. Such split shall be in compliance with the Kenosha County General Zoning and Shoreland/Floodplain Zoning Ordinance, Kenosha County Subdivision Control Ordinance, Kenosha County Sanitary Ordinance, and any applicable local land division control ordinance.

THIS AGREEMENT SHALL BE BINDING UPON ALL SUCCEEDING OWNERS AND CONVEYANCES.

Mary E. Ober Peterson 12/18/15
Property Owner Date

Property Owner Date

Property Owner Date

Property Owner Date

Subscribed and sworn before me this

KENOSHA COUNTY DEPARTMENT OF PLANNING & DEVELOPMENT DIVISION OF COUNTY DEVELOPMENT

December 20, 2015
A. Webb
Notary Public, Kenosha County, WI.
My commission expires

BY

TITLE

LAND INFORMATION OFFICE

This document was prepared by:
Kenosha County Department of Planning & Development
Division of County Development

BY

TITLE

95-4-119-011-0102 & 95-4-119-011-0104 - Site Map



Legend

- Street Centerlines
- Right-of-Ways
- Water Features
- - - Parcels
- - - Certified Survey Maps
- - - Condominiums
- - - Subdivisions
- Municipal Boundaries



1 inch = 300 feet

DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

Date Printed: 12/17/2015

95-4-119-011-0102 & 95-4-119-011-0104 - Current Zoning Classifications



- Legend**
- Street Centerlines
 - Right-of-Ways
 - Water Features
 - Parcels
 - Certified Survey Maps
 - Condominiums
 - Subdivisions
 - Municipal Boundaries
- Special Flood Hazard Area**
- A; AE; AO
 - Shoreland Areas
 - Zoning (Unincorporated Areas)



1 inch = 300 feet

DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

Date Printed: 12/17/2015

95-4-119-011-0102 & 95-4-119-011-0104 - Proposed Zoning Classifications



Areas depicted as green polygons to be rezoned from "R-2 Suburban Single-Family Residential District" to "A-2 General Agricultural District".

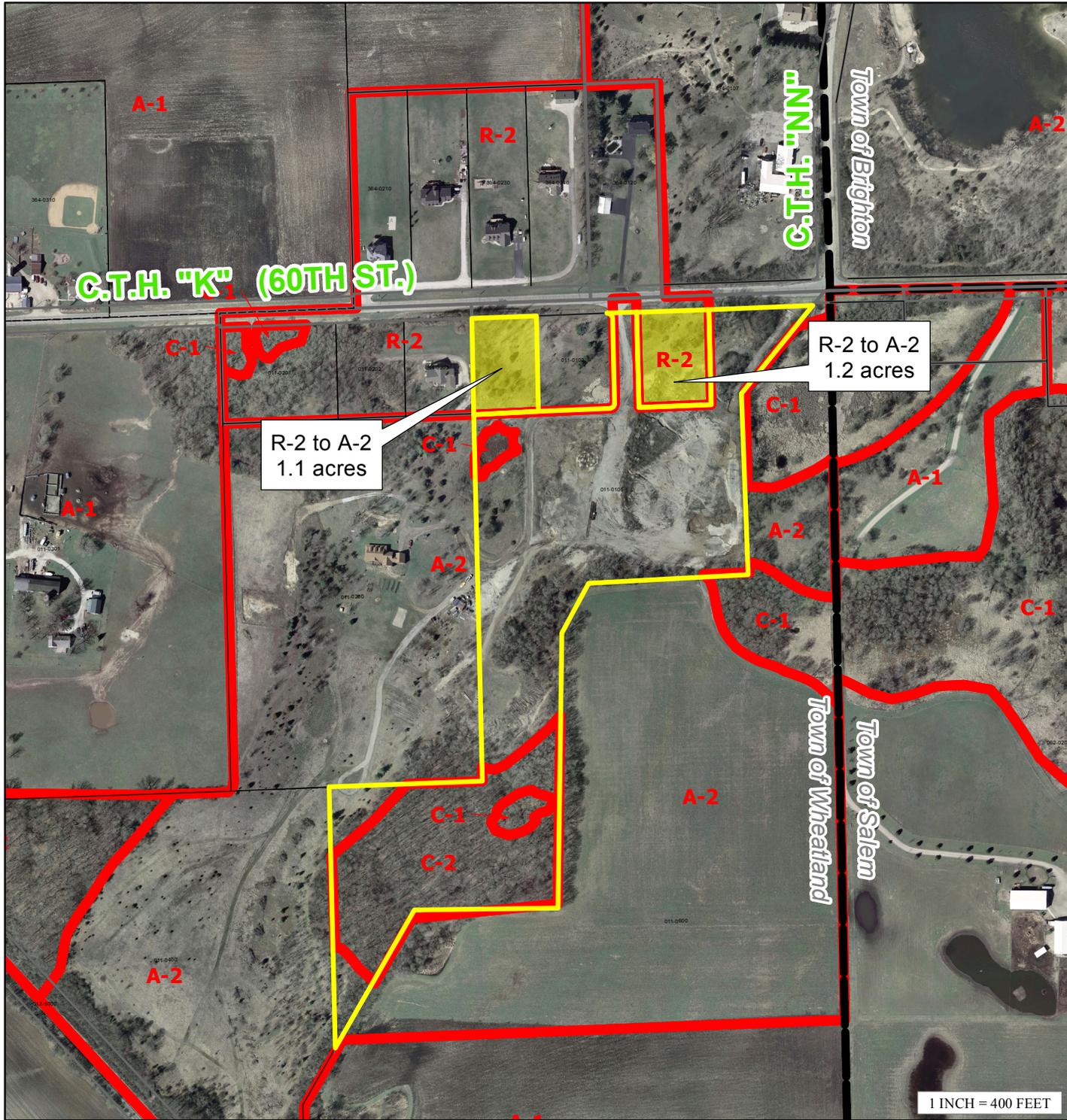
- Legend**
- Street Centerlines
 - Right-of-Ways
 - Water Features
 - Parcels
 - Certified Survey Maps
 - Condominiums
 - Subdivisions
 - Municipal Boundaries
- Special Flood Hazard Area**
- A; AE; AO
 - Shoreland Areas
 - Zoning (Unincorporated Areas)



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Date Printed: 12/17/2015



REZONING SITE MAP

PETITIONER(S):

Northern Alpine Group LLC (Owner),
Mary Ochoa-Petersen (Agent)

LOCATION: NE 1/4 of Section 1,
Town of Wheatland

TAX PARCEL(S): #95-4-119-011-0102 &
#95-4-119-011-0104

REQUEST:

Requesting a rezoning from R-2
Suburban Single-Family Residential
District to A-2 General Agricultural
District



1 INCH = 400 FEET



January 2013

COUNTY OF KENOSHA

Department of Planning and Development

A MULTI-JURISDICTIONAL COMPREHENSIVE PLAN FOR KENOSHA COUNTY: 2035 MAP AMENDMENT APPLICATION



(a) Property Owner's Name:

ACTION 50 LLC

x _____
Signature

Mailing Address:

420 W WESTLEIGH RD

City: LAKE FOREST

State: IL

Zip: 60045

Phone Number: _____

E-mail (optional): _____

Note: If the property owner's signature cannot be obtained in the above space, a "letter of agent status" signed by the property owner must be submitted if you are an applicant (tenant, leaseholder, or authorized agent representing the legal owner) acting on their behalf.

Applicant's Name (if applicable):

Mark Merkling

x _____
Signature

Mailing Address:

5675 392nd Avenue

City: Burlington

State: WI

Zip: 53105

Phone Number: 262-539-3600

E-mail (optional): markm@newgenrv.com

(b) Existing planned land use category as shown on Map 65 of the Kenosha County comprehensive plan:

"Suburban-Density Residential" and "Non-farmed Wetland"

(c) Proposed land use category (must be a land use category included in the legend for Map 65 of the Kenosha County comprehensive plan):

"Commercial" and "Non-farmed Wetland"

KENOSHA COUNTY COMPREHENSIVE PLAN: 2035 MAP AMENDMENT APPLICATION

(d) Proposed use (a statement of intended use and/or the type, extent, area, etc. of any development project):

I appreciate your consideration for my request to open New Generation RV at Parcel Number 95-4-219-314-0640. It is currently zoned B-3. I am hoping, with your permission, to be able to receive the permits that will allow me to sell, service, store and display new and used motor homes, travel trailers, fifth wheels, fold down campers and occasional automobiles, along with retail parts and accessory sales. The site will include two (2) buildings. The first is the main building for offices, the retail store and servicing RV's. The second, which will be built at a later date (1-5 years) will be an indoor showroom. The plan is to change the grade on the property to accommodate the facilities and lot according to the storm water run off plan developed by Kapur & Associates, install seeded and landscape buffers to the east and south of the property. The driveway and customer parking area will be blacktop. The display lot will be graded courserock brought in and finished with road bond. The outdoor lighting will not encroach highway traffic and will be for the purpose of customer safety and security. There will be a low digital road sign at the southeast corner of the paved parking lot 10' tall 14' wide. See attached.

(e) Compatibility with the Kenosha County comprehensive plan (address the following questions in detail):

(e-1) Is the proposed amendment consistent with the goals, objectives, policies, and programs of this plan? Explain:

Yes. To the southeast of this parcel is Action Marine. Action Marine is a retail sales, service provider and storage facility for the marine industry. To the east is currently New Generation RV which is a retail sales service provider and storage facility for the recreational vehicle industry. To the west is The Mushroom Farm which is a retail sales and production facility.

KENOSHA COUNTY COMPREHENSIVE PLAN: 2035 MAP AMENDMENT APPLICATION

(e-2) Is the proposed amendment compatible with surrounding land uses? Explain its compatibility with both existing and planned land uses:

Yes. To the southeast of this parcel is Action Marine. Action Marine is a retail sales, service provider and storage facility for the marine industry. To the east is currently New Generation RV which is a retail sales service provider and storage facility for the recreational vehicle industry. To the west is The Mushroom Farm which is a retail sales and production facility.

(e-3) Will the proposed amendment have any detrimental environmental effects? Explain:

There will not be any detrimental effects to the environment. The civil engineers will have the waste water management completed before construction.

KENOSHA COUNTY COMPREHENSIVE PLAN: 2035 MAP AMENDMENT APPLICATION

(e-4) Has a substantial public benefit been demonstrated by the proposed plan amendment? Explain:

Yes. There is a benefit due to the fact that New Generation RV will increase the revenue to the community, local businesses and the local municipalities.

(e-5) Are public roads, services, and utilities available, or planned to be available in the near future, to serve the proposed development? Explain:

All are available on Hwy. 50 and 392nd Avenue, which border this parcel.

KENOSHA COUNTY COMPREHENSIVE PLAN: 2035 MAP AMENDMENT APPLICATION

(e-6) Are existing or planned facilities and services adequate to serve the type of development associated with the amendment? Explain:

We will be building a commercial facility to accommodate the business.

(e-7) Any additional data or information as requested by the Department of Planning and Development:

Nothing additional has been requested.

KENOSHA COUNTY COMPREHENSIVE PLAN: 2035 MAP AMENDMENT APPLICATION

(f) Attach a legal description and provide the tax key number(s) below of property to be amended on the Kenosha County comprehensive plan:

95-4-219-314-0640

(g) Attach plot plan or survey plat of property to be amended on the comprehensive plan (showing location, dimensions, planned land use of adjacent properties, existing uses and buildings of adjacent properties—drawn to scale).

(h) The name of the County Supervisor of the district wherein the property is located:

Supervisory District Number: 22 County Board Supervisor: Erin Decker

(i) Attach a copy (original newspaper clipping or certified copy from the Town) of the notice of public hearing (per section 66.1001(4)(d) of Wisconsin State Statutes) that is published by your Town at least 30 days before the public hearing is held. Include the date of publication with the copy of the notice of public hearing.

Note: Your application will not be processed by Kenosha County until a copy of the notice of public hearing and town approval letter is received by the Kenosha County Department of Planning and Development.

(j) Attach a copy of the enacted town resolution and ordinance (per section 66.1001(4)(c) of Wisconsin State Statutes) adopting the amendment to the Kenosha County comprehensive plan map.

Note: Your application will not be processed by Kenosha County until a copy of the enacted town resolution and ordinance adopting the amendment is received by the Kenosha County Department of Planning and Development.

(k) The fee specified in Section 12.05-8 of this ordinance.

Request for Land Use Plan Map Amendment \$250.00 payable to "Kenosha County"

(For other fees see the Fee Schedule)

RECEIVED

JUN 23 2015

Kenosha County
Planning and Development

I am looking to put in 10 RV sites to be used as overnight service sites for service customers and our out of state sales customers. We sell all over the United States and Canada. Those customers drive in to pick up and are usually tired from a long trip. It is difficult and poor service on our part to walk them through there RV and send them down the road. Instead when they get here I would like to offer them to spend the night in there new RV then the next morning be able to answer further questions and address any concerns before they leave for a long journey home.

I would also use the sites to let prospective customers try a night to see if they are going to be comfortable in an RV before making a commitment to buy. This scenario would happen occasionally when we have some one that is simply unsure. Most of our guests are all in and excited to move forward.

Last The sites will be used for service customers. We do a lot of emergency repair for out of state guests that are on vacation. When parts are needed it usually takes 24 to 48 hrs for them to get here and the customer is out of luck except to go and try to find a hotel some where. It would be much better to plug them in and let them stay in there RV. At Burlington RV we offered these services and it enhanced the Rver's experience greatly.

I do not wish to have or run a campground.

The sites will be behind an earthen birm and out of view from hwy 50 and the dealership off the N.W. corner of our sales lot over looking the retention pond.

Thank you,

Mark Merkling, President
NEW GENERATION RV
5675 392nd Ave. (Hwy. 50)
Burlington, WI 53105
262-539-3600
www.newgenrv.com

KENOSHA COUNTY COMPREHENSIVE PLAN: 2035 MAP AMENDMENT APPLICATION

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center Department of Planning & Development 19600 - 75 th Street, Post Office Box 520 Bristol, Wisconsin 53104-0520	
Division of County Development (including Sanitation & Land Conservation)	857-1895
Facsimile #.....	857-1920
Public Works Division of Highways.....	857-1870
Administration Building Division of Land Information	653-2622
Brighton, Town of	878-2218
Paris, Town of	859-3006
Randall, Town of	877-2165
Salem, Town of	843-2313
Utility District	862-2371
Somers Town of	859-2822
Wheatland, Town of	537-4340
Wisconsin Department of Natural Resources - Sturtevant Office	884-2300
Wisconsin Department of Transportation - Waukesha Office	548-8722

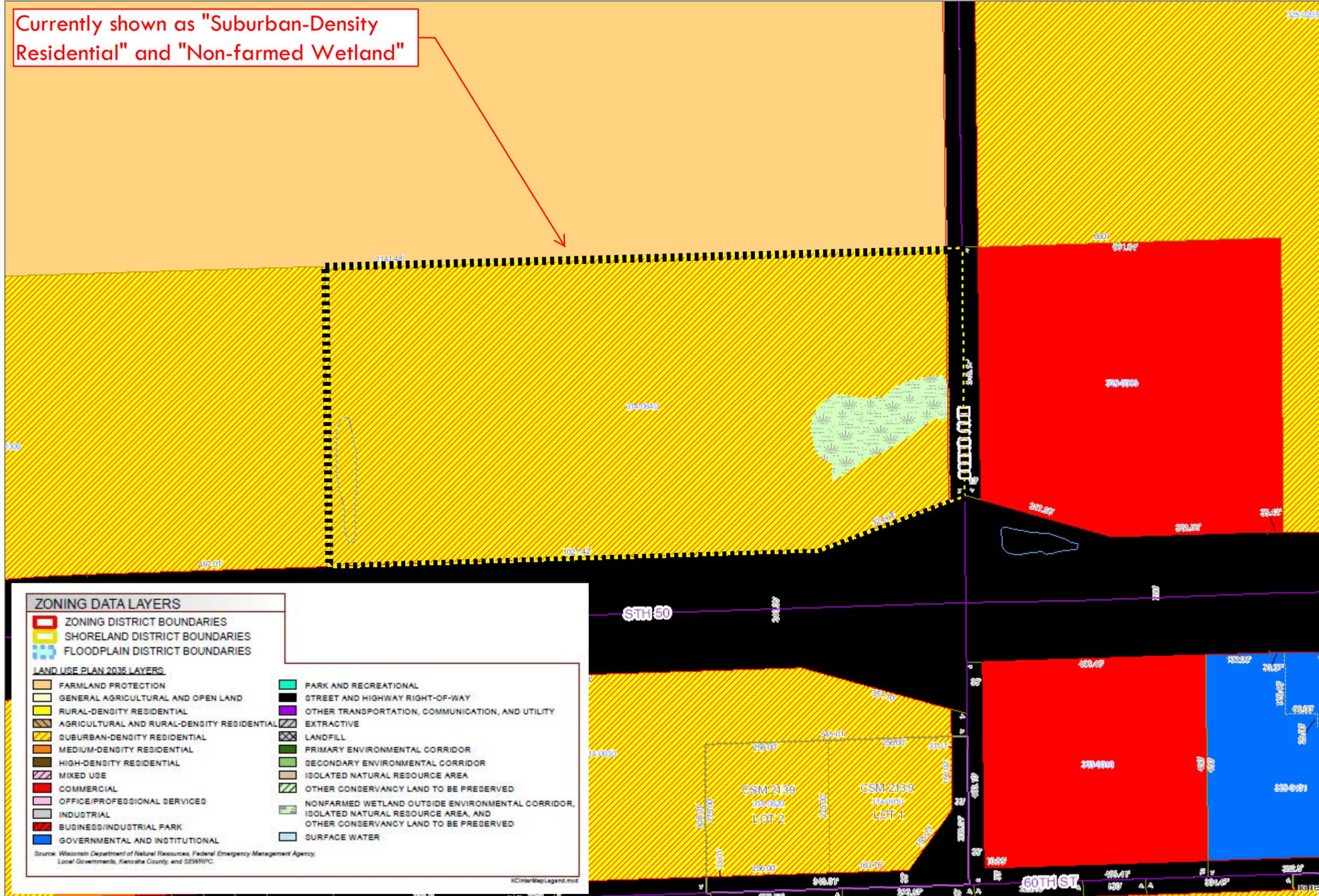
95-4-219-314-0640 - Current Land Use Plan Designation

Currently shown as "Suburban-Density Residential" and "Non-farmed Wetland"



Legend

- Street Centerlines
- Right-of-Ways
- Water Features
- Parcels
- Certified Survey Maps
- Condominiums
- Subdivisions
- Municipal Boundaries



ZONING DATA LAYERS

- ZONING DISTRICT BOUNDARIES
- SHORELAND DISTRICT BOUNDARIES
- FLOODPLAIN DISTRICT BOUNDARIES

LAND USE PLAN 2035 LAYERS

FARMLAND PROTECTION	PARK AND RECREATIONAL
GENERAL AGRICULTURAL AND OPEN LAND	STREET AND HIGHWAY RIGHT-OF-WAY
RURAL-DENSITY RESIDENTIAL	OTHER TRANSPORTATION, COMMUNICATION, AND UTILITY
AGRICULTURAL AND RURAL-DENSITY RESIDENTIAL	EXTRACTIVE
SUBURBAN-DENSITY RESIDENTIAL	LANDFILL
MEDIUM-DENSITY RESIDENTIAL	PRIMARY ENVIRONMENTAL CORRIDOR
HIGH-DENSITY RESIDENTIAL	SECONDARY ENVIRONMENTAL CORRIDOR
MIXED USE	ISOLATED NATURAL RESOURCE AREA
COMMERCIAL	OTHER CONSERVANCY LAND TO BE PRESERVED
OFFICE/PROFESSIONAL SERVICES	NONFARMED WETLAND OUTSIDE ENVIRONMENTAL CORRIDOR, ISOLATED NATURAL RESOURCE AREA, AND OTHER CONSERVANCY LAND TO BE PRESERVED
INDUSTRIAL	SURFACE WATER
BUSINESS/INDUSTRIAL PARK	
GOVERNMENTAL AND INSTITUTIONAL	

Source: Wisconsin Department of Natural Resources, Federal Emergency Management Agency, Local Governments, Kenosha County, and SEMWOPC.



1 inch = 200 feet

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Date Printed: 5/14/2015

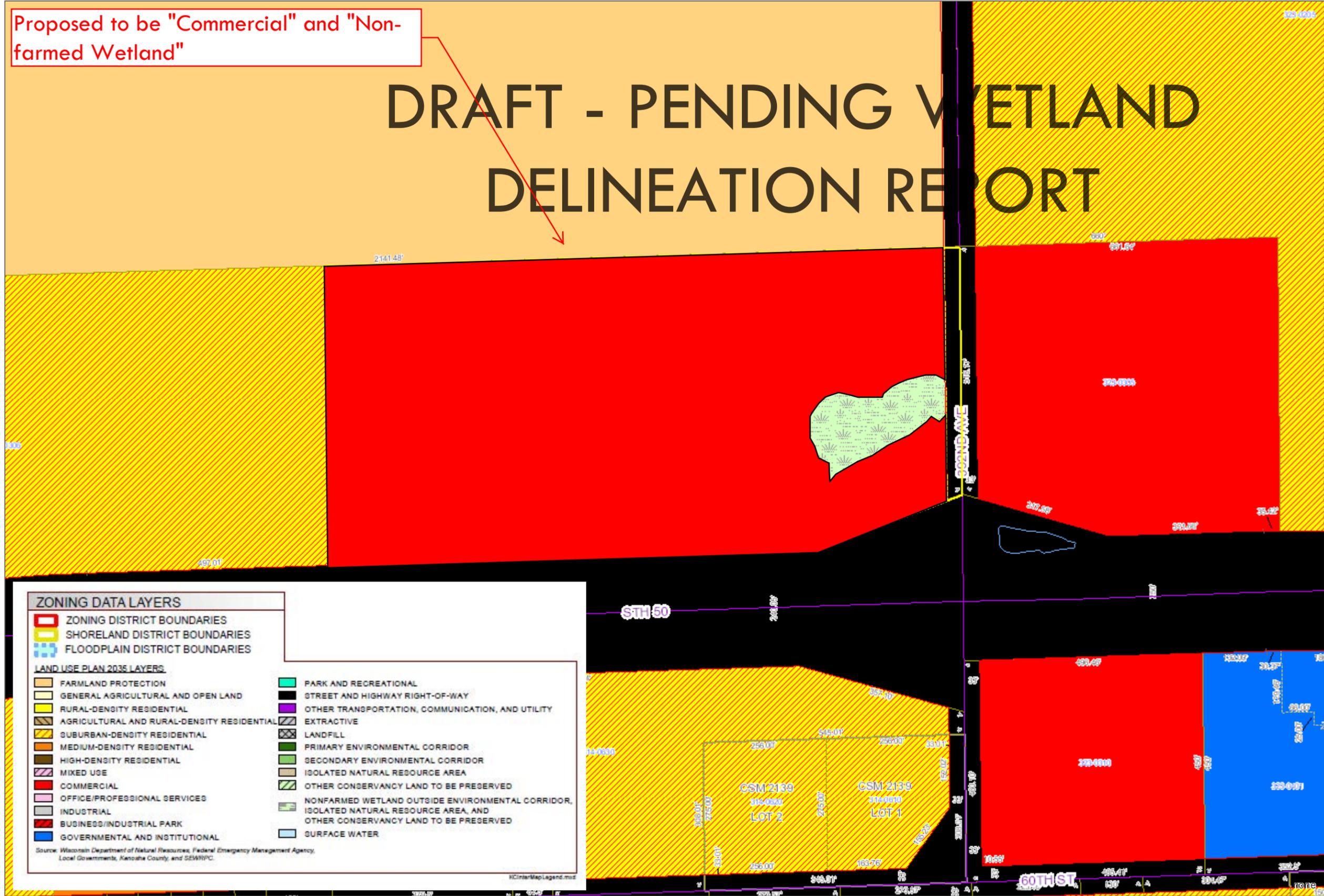
Proposed to be "Commercial" and "Non-farmed Wetland"

DRAFT - PENDING WETLAND DELINEATION REPORT



Legend

- Street Centerlines
- Right-of-Ways
- Water Features
- Parcels
- Certified Survey Maps
- Condominiums
- Subdivisions
- Municipal Boundaries



ZONING DATA LAYERS	
	ZONING DISTRICT BOUNDARIES
	SHORELAND DISTRICT BOUNDARIES
	FLOODPLAIN DISTRICT BOUNDARIES
LAND USE PLAN 2035 LAYERS	
	FARMLAND PROTECTION
	GENERAL AGRICULTURAL AND OPEN LAND
	RURAL-DENSITY RESIDENTIAL
	AGRICULTURAL AND RURAL-DENSITY RESIDENTIAL
	SUBURBAN-DENSITY RESIDENTIAL
	MEDIUM-DENSITY RESIDENTIAL
	HIGH-DENSITY RESIDENTIAL
	MIXED USE
	COMMERCIAL
	OFFICE/PROFESSIONAL SERVICES
	INDUSTRIAL
	BUSINESS/INDUSTRIAL PARK
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	PARK AND RECREATIONAL
	STREET AND HIGHWAY RIGHT-OF-WAY
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	EXTRACTIVE
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	PRIMARY ENVIRONMENTAL CORRIDOR
	SECONDARY ENVIRONMENTAL CORRIDOR
	ISOLATED NATURAL RESOURCE AREA
	OTHER CONSERVANCY LAND TO BE PRESERVED
	NONFARMED WETLAND OUTSIDE ENVIRONMENTAL CORRIDOR, ISOLATED NATURAL RESOURCE AREA, AND OTHER CONSERVANCY LAND TO BE PRESERVED
	SURFACE WATER

Source: Wisconsin Department of Natural Resources, Federal Emergency Management Agency, Local Governments, Kenosha County, and SEMWPC.



1 inch = 200 feet

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PROJECT:
**NEW GENERATION
RV
WETLAND
DELINEATION**

LOCATION:
**TOWN OF
WHEATLAND,
KENOSHA CO., WI**



REVISIONS:

#	DATE	DESCRIPTION



SEAL:

we listen. we innovate.
we turn your vision into reality.

SHEET:
WETLAND EXHIBIT

DESIGNED BY: _____
DRAWN BY: _____ RJB
CHECKED BY: _____
APPROVED BY: _____ KMB
PROJECT NUMBER: 15.0210.01

SHEET NUMBER:
1 of 1

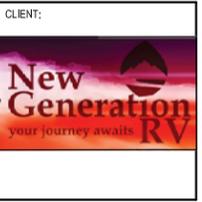


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- LEGEND:
-  = WETLAND BOUNDARY DELINEATED BY KAPUR & ASSOCIATES, INC. May 20, June 2, June 3 and June 9, 2015 for New Generation RV.
 -  = WETLAND SOIL SAMPLE
 -  = UPLAND SOIL SAMPLE
 -  = WETLAND BOUNDARY

PROJECT:
**NEWGENERATION
RV**

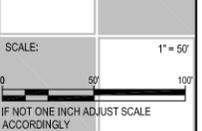
LOCATION:
TOWN OF
WHEATLAND,
KENOSHA COUNTY,
WI



RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION
###	###	###
###	###	###
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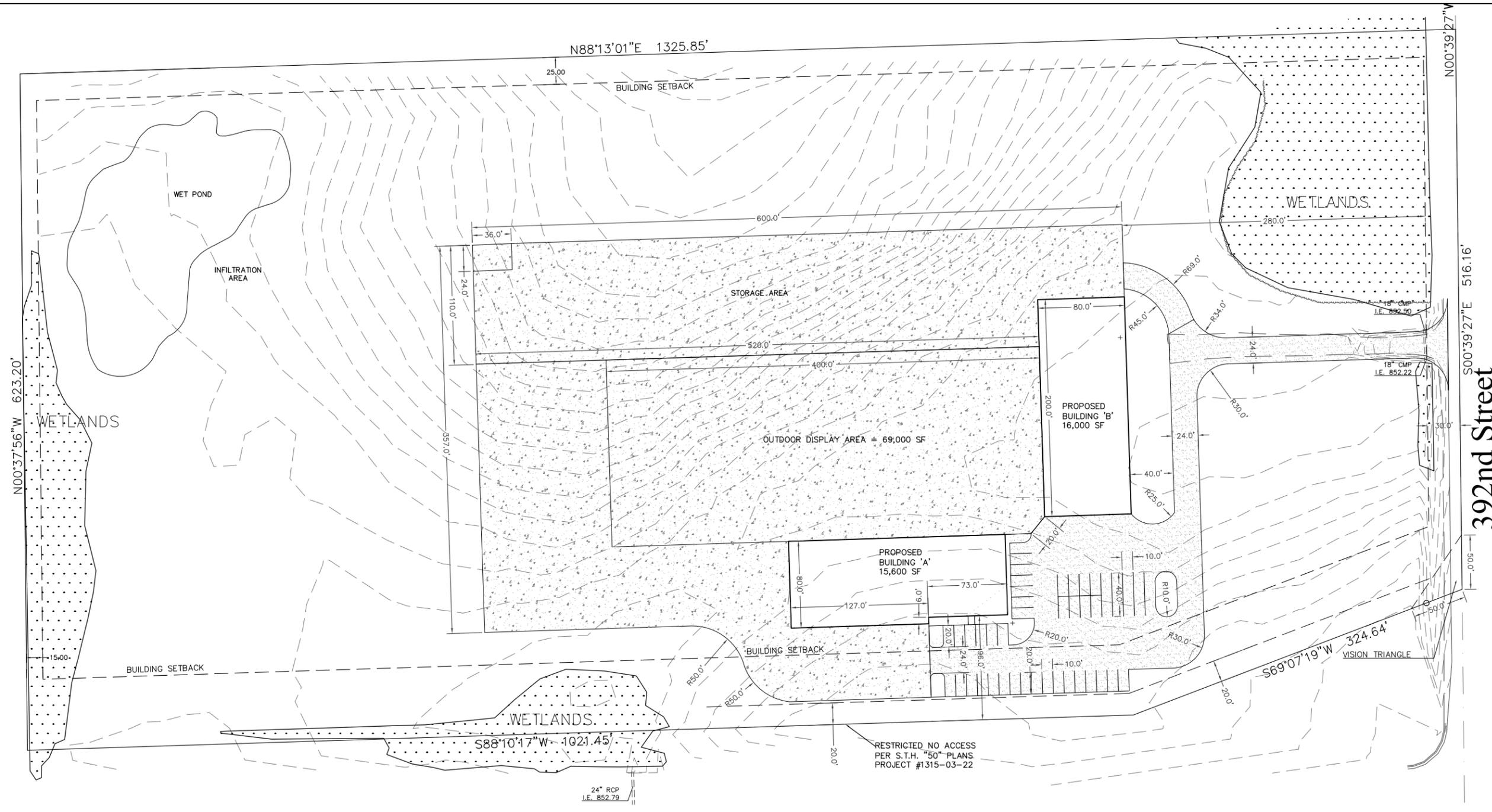
SEAL:

we listen, we innovate,
we turn your vision into reality.

SHEET:
SITE SURVEY

PROJECT MANAGER: GLG
PROJECT NUMBER: 150210
DATE: 5-29-2015

SHEET NUMBER:
S1



STH "50"

SITE DATA

MAXIMUM BLDG HEIGHT
35 FEET

ZONING B-3
HIGHWAY BUSINESS DISTRICT

SETBACKS (PER DECLARATION OF COVENANTS)
SIDE - 15 FEET
FRONT - 25 FEET
REAR - 25 FEET

PARKING REQUIREMENTS
INDUSTRIAL USE (B-3)
1 PER 600 SF OF NET ENCLOSED FLOOR AREA
1 PER 2000 SF OUTSIDE DISPLAY AREA

INDOOR: 6800 SF/600 = 12 PARKING SPACES
OUTDOOR: 68,870 SF/2000 = 35 PARKING SPACES
TOTAL: 54+32 = 47 PARKING SPACES REQUIRED TOTAL

ADA COMPLIANT PARKING
(1) VAN ACCESSIBLE WITH 96" AISLE
(1) CAR ACCESSIBLE WITH 60" AISLE

NOTES:
Parking Spaces shall be minimum of 20 feet from the established highway right-of-way and a minimum of 10 feet from all rear and side lot lines

Vehicle Spaces shall be 10' x 20' Minimum
24' Wide Aisle Widths, required

SITE PLAN LEGEND

-  NEW PAVEMENT
-  AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP).
-  PROJECT LIMITS

FILENAME: D:\Kenosha_Co\Wheatland_Town\Plan\150210_NewGen_RV\Design\150210_SITE_PLAN.dwg

COMPREHENSIVE PLAN
AMENDMENT SITE MAP

PETITIONER(S):

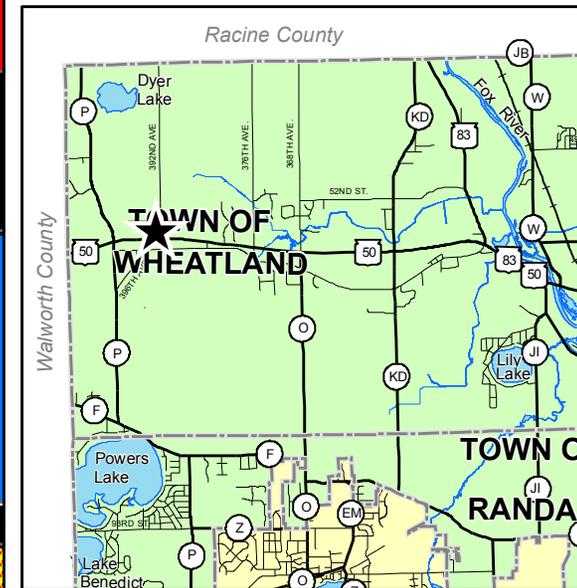
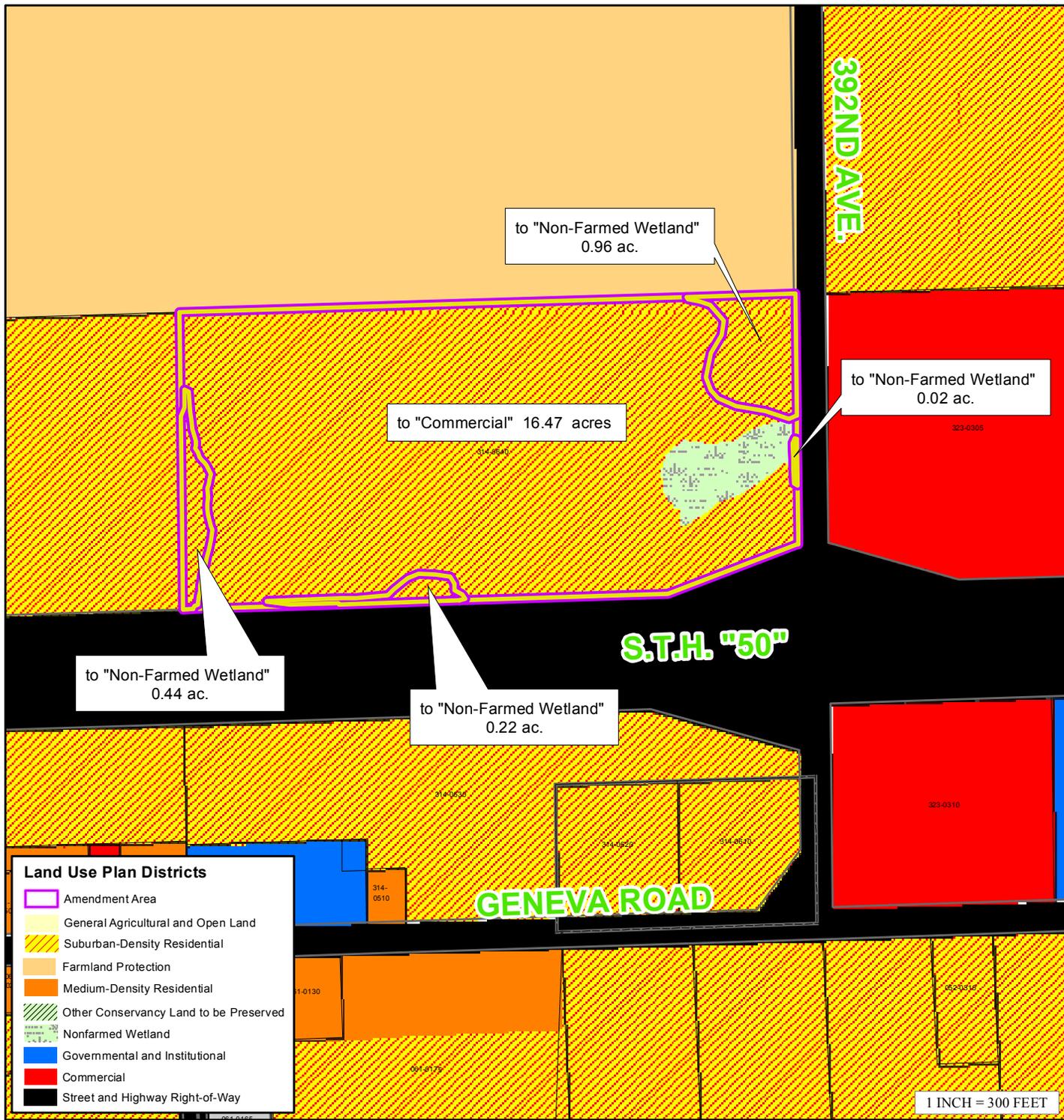
Action 50 LLC (Owner),
Mark Merkling (Agent)

LOCATION: Section 31,
Town of Wheatland

TAX PARCEL(S): #95-4-219-314-0640

REQUEST:

Requests an amendment to the Adopted Land Use Plan map for Kenosha County: 2035 (map 65 of the comprehensive plan) from "Suburban-Density Residential" and "Non-Farmed Wetlands" to "Commercial" and "Non-Farmed Wetlands".





COUNTY OF KENOSHA

Department of Planning and Development



May 2013

REZONING APPLICATION

(a) Property Owner's Name:

ACTION 50 LLC

Print Name: _____ Signature: _____

Mailing Address: 420 W WESTLEIGH RD

City: LAKE FOREST State: IL Zip: 60045

Phone Number: _____ E-mail (optional): _____

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status **signed** by the legal property owner **must** be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: Mark Merkling Signature: _____

Business Name: New Generation RV

Mailing Address: 5675 392nd Avenue

City: Burlington State: WI Zip: 53105

Phone Number: 262-539-3600 E-mail (optional): markm@newgenrv.com

(c) Tax key number(s) of property to be rezoned:

95-4-219-314-0640 _____

Property Address of property to be rezoned:

392ND AVE

(d) Proposed use (a statement of the type, extent, area, etc. of any development project):

I appreciate your consideration for my request to open New Generation RV at Parcel Number 95-4-219-314-0640. It is currently zoned B-3. I am hoping, with your permission, to be able to receive the permits that will allow me to sell, service, store and display new and used motor homes, travel trailers, fifth wheels, fold down campers and occasional automobiles, along with retail parts and accessory sales. The site will include two (2) buildings. The first is the main building for offices, the retail store and servicing RV's. The second, which will be built at a later date (1-5 years) will be an indoor showroom. The plan is to change the grade on the property to accommodate the facilities and lot according to the storm water run off plan developed by Kapur & Associates. install seeded and landscape buffers to the east and south of the property. The driveway and customer parking area will be blacktop. The display lot will be graded courserock brought in and finished with road bond. The outdoor lighting will not encroach highway traffic and will be for the purpose of customer safety and security. There will be a low digital road sign at the southeast corner of the paved parking lot 10' tall 14' wide. See attached.

REZONING APPLICATION

(e) Check the box next to any and all of the **existing** zoning district classifications present on the subject property:

<input type="checkbox"/> A-1 Agricultural Preservation District	<input type="checkbox"/> TCO Town Center Overlay District
<input checked="" type="checkbox"/> A-2 General Agricultural District	<input type="checkbox"/> B-1 Neighborhood Business District
<input type="checkbox"/> A-3 Agricultural Related Manufacturing, Warehousing and Marketing District	<input type="checkbox"/> B-2 Community Business District
<input type="checkbox"/> A-4 Agricultural Land Holding District	<input type="checkbox"/> B-3 Highway Business District
<input type="checkbox"/> AE-1 Agricultural Equestrian Cluster Single-Family District	<input type="checkbox"/> B-4 Planned Business District
<input type="checkbox"/> R-1 Rural Residential District	<input type="checkbox"/> B-5 Wholesale Trade and Warehousing District
<input type="checkbox"/> R-2 Suburban Single-Family Residential District	<input type="checkbox"/> BP-1 Business Park District
<input type="checkbox"/> R-3 Urban Single-Family Residential District	<input type="checkbox"/> B-94 Interstate Highway 94 Special Use Business District
<input type="checkbox"/> R-4 Urban Single-Family Residential District	<input type="checkbox"/> M-1 Limited Manufacturing District
<input type="checkbox"/> R-5 Urban Single-Family Residential District	<input type="checkbox"/> M-2 Heavy Manufacturing District
<input type="checkbox"/> R-6 Urban Single-Family Residential District	<input type="checkbox"/> M-3 Mineral Extraction District
<input type="checkbox"/> R-7 Suburban Two-Family and Three-Family Residential District	<input type="checkbox"/> M-4 Sanitary Landfill and Hazardous Waste Disposal District
<input type="checkbox"/> R-8 Urban Two-Family Residential District	<input type="checkbox"/> I-1 Institutional District
<input type="checkbox"/> R-9 Multiple-Family Residential District	<input type="checkbox"/> PR-1 Park-Recreational District
<input type="checkbox"/> R-10 Multiple-Family Residential District	<input type="checkbox"/> C-1 Lowland Resource Conservancy District
<input type="checkbox"/> R-11 Multiple-Family Residential District	<input type="checkbox"/> C-2 Upland Resource Conservancy District
<input type="checkbox"/> R-12 Mobile Home/Manufactured Home Park-Subdivision District	<input type="checkbox"/> FPO Floodplain Overlay District
<input type="checkbox"/> HO Historical Overlay District	<input type="checkbox"/> FWO Camp Lake/Center Lake Floodway Overlay District
<input type="checkbox"/> PUD Planned Unit Development Overlay District	<input type="checkbox"/> FFO Camp Lake/Center Lake Floodplain Fringe Overlay District
<input type="checkbox"/> AO Airport Overlay District	
<input type="checkbox"/> RC Rural Cluster Development Overlay District	

(f) Check the box next to any and all of the **proposed** zoning district classifications proposed for the subject property:

<input type="checkbox"/> A-1 Agricultural Preservation District	<input type="checkbox"/> TCO Town Center Overlay District
<input type="checkbox"/> A-2 General Agricultural District	<input type="checkbox"/> B-1 Neighborhood Business District
<input type="checkbox"/> A-3 Agricultural Related Manufacturing, Warehousing and Marketing District	<input type="checkbox"/> B-2 Community Business District
<input type="checkbox"/> A-4 Agricultural Land Holding District	<input checked="" type="checkbox"/> B-3 Highway Business District
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<input type="checkbox"/> AO Airport Overlay District	
<input type="checkbox"/> RC Rural Cluster Development Overlay District	

REZONING APPLICATION

(g) Your request must be consistent with the existing planned land use category as shown on Map 65 of the adopted "Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035".

The existing planned land use category for the subject property is:

<input type="checkbox"/> Farmland Protection	<input type="checkbox"/> Governmental and Institutional
<input type="checkbox"/> General Agricultural and Open Land	<input type="checkbox"/> Park and Recreational
<input type="checkbox"/> Rural-Density Residential	<input type="checkbox"/> Street and Highway Right-of-Way
<input type="checkbox"/> Agricultural and Rural Density Residential	<input type="checkbox"/> Other Transportation, Communication, and Utility
<input checked="" type="checkbox"/> Suburban-Density Residential	<input type="checkbox"/> Extractive
<input type="checkbox"/> Medium-Density Residential	<input type="checkbox"/> Landfill
<input type="checkbox"/> High-Density Residential	<input type="checkbox"/> Primary Environmental Corridor
<input type="checkbox"/> Mixed Use	<input type="checkbox"/> Secondary Environmental Corridor
<input type="checkbox"/> Commercial	<input type="checkbox"/> Isolated Natural Resource Area
<input type="checkbox"/> Office/Professional Services	<input type="checkbox"/> Other Conservancy Land to be Preserved
<input type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Nonfarmed Wetland
<input type="checkbox"/> Business/Industrial Park	<input type="checkbox"/> Surface Water

(h) Attach a plot plan or survey plat of property to be rezoned (showing location, dimensions, zoning of adjacent properties, existing uses and buildings of adjacent properties, floodways and floodplains)—drawn to scale.

(i) The Kenosha County Department of Planning and Development may ask for additional information.

(j) The name of the County Supervisor of the district wherein the property is located (District Map):

Supervisory District Number: 22 County Board Supervisor: Erin Decker

(k) The fee specified in Section 12.05-8 of this ordinance.

Request for Rezoning Petition\$750.00

(For other fees see the Fee Schedule)

Note: Agricultural Use Conversion Charge

The use value assessment system values agricultural land based on the income that would be generated from its rental for agricultural use rather than its fair market value. When a person converts agricultural land to a non-agricultural use (e.g. residential or commercial development), that person may owe a conversion charge. To obtain more information about the use value law or conversion charge, contact the Wisconsin Department of Revenue's Equalization Section at 608-266-2149 or visit <http://www.revenue.wi.gov/faqs/slf/useassmt.html>.

Note that the act of rezoning property from an agricultural zoning district to a non-agricultural zoning district does not necessarily trigger the agricultural use conversion charge. It is when the use of the property changes from agricultural that the conversion charge is assessed.

RECEIVED

JUN 23 2015

Kenosha County
Planning and Development

I am looking to put in 10 RV sites to be used as overnight service sites for service customers and our out of state sales customers. We sell all over the United States and Canada. Those customers drive in to pick up and are usually tired from a long trip. It is difficult and poor service on our part to walk them through there RV and send them down the road. Instead when they get here I would like to offer them to spend the night in there new RV then the next morning be able to answer further questions and address any concerns before they leave for a long journey home.

I would also use the sites to let prospective customers try a night to see if they are going to be comfortable in an RV before making a commitment to buy. This scenario would happen occasionally when we have some one that is simply unsure. Most of our guests are all in and excited to move forward.

Last The sites will be used for service customers. We do a lot of emergency repair for out of state guests that are on vacation. When parts are needed it usually takes 24 to 48 hrs for them to get here and the customer is out of luck except to go and try to find a hotel some where. It would be much better to plug them in and let them stay in there RV. At Burlington RV we offered these services and it enhanced the Rver's experience greatly.

I do not wish to have or run a campground.

The sites will be behind an earthen birm and out of view from hwy 50 and the dealership off the N.W. corner of our sales lot over looking the retention pond.

Thank you,

Mark Merkling, President
NEW GENERATION RV
5675 392nd Ave. (Hwy. 50)
Burlington, WI 53105
262-539-3600
www.newgenrv.com



- Legend
- Street Centerlines
 - Right-of-Ways
 - Water Features
 - Parcels
 - Certified Survey Maps
 - Condominiums
 - Subdivisions
 - Municipal Boundaries
 - Zoning (Unincorporated Areas)
 - Wetlands



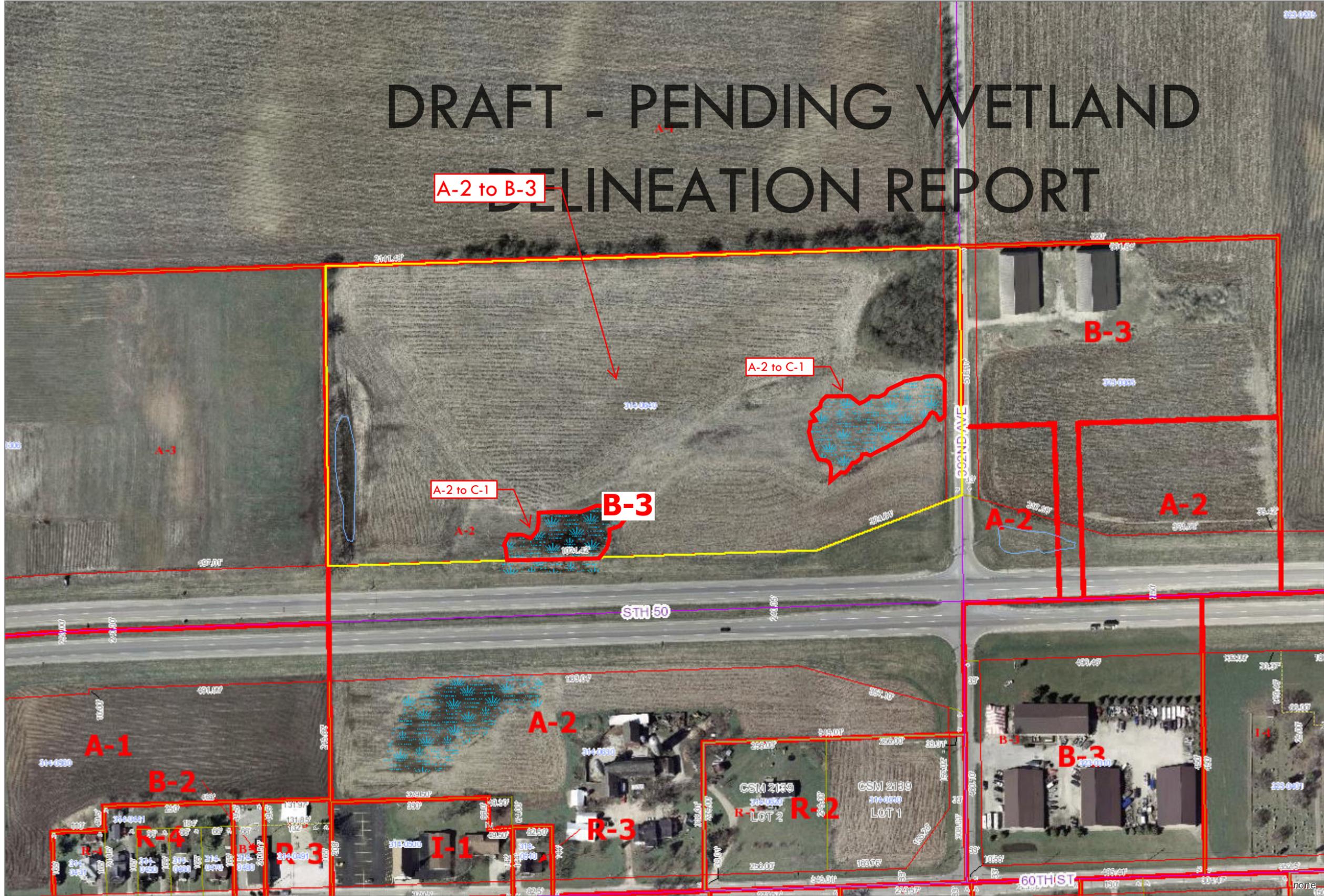
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Date Printed: 5/14/2015



DRAFT - PENDING WETLAND DELINEATION REPORT



Legend

- Street Centerlines
- Right-of-Ways
- Water Features
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KAPUR & ASSOCIATES, INC.
CONSULTING ENGINEERS
7711 N. PORT WASHINGTON ROAD
MILWAUKEE, WISCONSIN 53217
Phone: 414.351.6688 Fax: 414.351.4117
www.kapurengineers.com

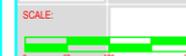
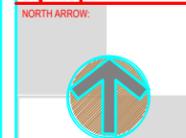
PROJECT:
**NEW GENERATION
RV
WETLAND
DELINEATION**

LOCATION:
**TOWN OF
WHEATLAND,
KENOSHA CO., WI**



REVISIONS:

#	DATE	DESCRIPTION



IF NOT ONE INCH ADJUST SCALE ACCORDINGLY

SEAL:

we listen. we innovate.
we turn your vision into reality.

SHEET:
WETLAND EXHIBIT

DESIGNED BY: _____
DRAWN BY: _____ RJB
CHECKED BY: _____
APPROVED BY: _____ KMB
PROJECT NUMBER: 15.0210.01

SHEET NUMBER:
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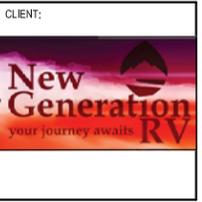


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 - = WETLAND BOUNDARY

PROJECT:
**NEWGENERATION
RV**

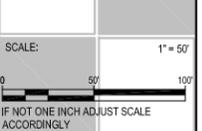
LOCATION:
TOWN OF
WHEATLAND,
KENOSHA COUNTY,
WI



PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION
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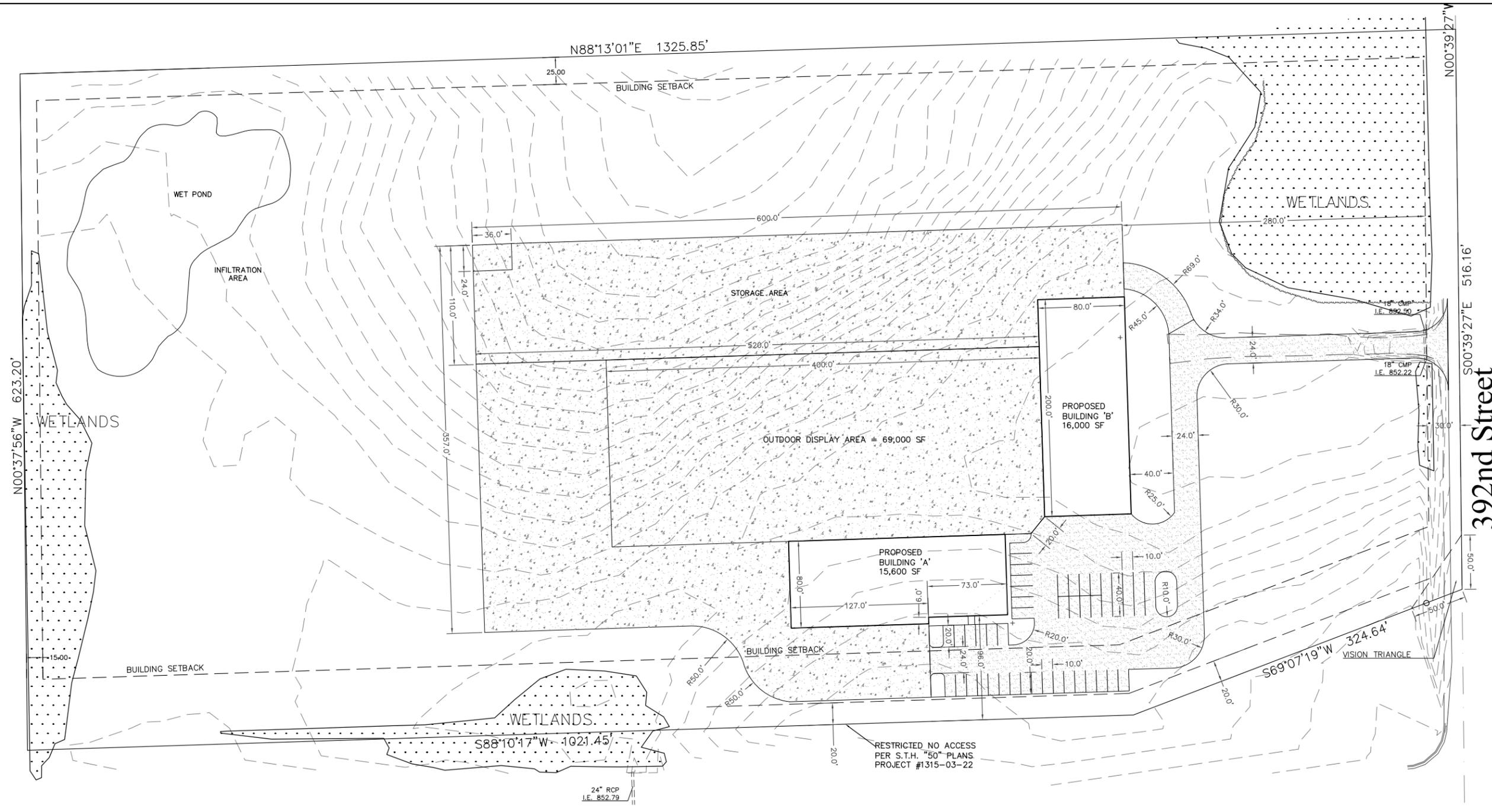
SEAL:

we listen. we innovate.
we turn your vision into reality.

SHEET:
SITE SURVEY

PROJECT MANAGER: GLG
PROJECT NUMBER: 150210
DATE: 5-29-2015

SHEET NUMBER:
S1



STH "50"

SITE DATA

MAXIMUM BLDG HEIGHT
35 FEET

ZONING B-3
HIGHWAY BUSINESS DISTRICT

SETBACKS (PER DECLARATION OF COVENANTS)
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-  NEW PAVEMENT
-  AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP).
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FILENAME: D:\Kenosha_Co\Wheatland_Town\Plan\150210_NewGen_RV\Design\150210_SITE_PLAN.dwg

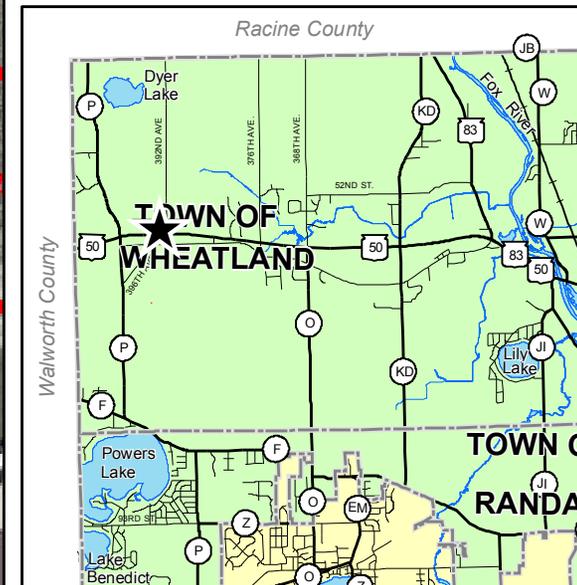
REZONING SITE MAP

PETITIONER(S):
 Action 50 LLC (Owner),
 Mark Merkling (Agent)

LOCATION: SE 1/4 of Section 31,
 Town of Wheatland

TAX PARCEL(S): #95-4-119-314-0640

REQUEST:
 Requesting a rezoning from A-2 General
 Agricultural District to B-3 Highway Business
 District & C-1 Lowland Resource Conservancy
 District.





December 2012



COUNTY OF KENOSHA

Department of Planning and Development

CONDITIONAL USE PERMIT APPLICATION

(a) Property Owner's Name:
ACTION 50 LLC

Print Name: JAMES M. BISSING Signature: [Signature]

Mailing Address: 420 W WESTLEIGH RD

City: LAKE FOREST State: IL Zip: 60045

Phone Number: _____ E-mail (optional): bissing@aol.com

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status signed by the legal property owner must be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: Mark Merkling Signature: [Signature]

Business Name: New Generation RV

Mailing Address: 5675 392nd Avenue

City: Burlington State: WI Zip: 53105

Phone Number: 262-539-3600 E-mail (optional): markm@newgenrv.com

(c) Architect's Name (if applicable):

Print Name: James Pankratz AIA, Architect Signature: [Signature]

Business Name: Dream Architecture, LLC

Mailing Address: 272 Indian Bend Road

City: Burlington State: WI Zip: 53105

Phone Number: 414-588-5311 E-mail (optional): jwpankratz@hotmail.com

(d) Engineer's Name (if applicable):

Print Name: Gregory Governatori, P.E. LEED AP Signature: [Signature]

Business Name: Kapur & Associates

Mailing Address: 1224 S. Pine St.

City: Burlington State: WI Zip: 53105

Phone Number: 262-758-6010 E-mail (optional): ggovernatori@kapur-assoc.com

CONDITIONAL USE PERMIT APPLICATION

(e) Tax key number(s) of subject site:

95-4-219-314-0640

Address of the subject site:

392ND AVE

(f) Plan of Operation (or attach separate plan of operation)

Type of structure:

Commercial

Proposed operation or use of the structure or site:

I appreciate your consideration for my request to open New Generation RV at Parcel Number 95-4-219-314-0640. It is currently zoned B-3. I am hoping, with your permission, to be able to receive the permits that will allow me to sell, service, store and display new and used motor homes, travel trailers, fifth wheels, fold down campers and occasional automobiles, along with retail parts and accessory sales. The site will include two (2) buildings. The first is the main building for offices, the retail store and servicing RV's. The second, which will be built at a later date (1-5 years) will be an indoor showroom. The plan is to change the grade on the property to accommodate the facilities and lot according to the storm water run off plan developed by Kapur & Associates, install seeded and landscape buffers to the east and south of the property. The driveway and customer parking area will be blacktop. The display lot will be graded courserock brought in and finished with road bond. The outdoor lighting will not encroach highway traffic and will be for the purpose of customer safety and security. There will be a low digital road sign at the southeast corner of the paved parking lot 10' tall 14' wide. A mock up drawing is attached. The well and septic will be installed to code by local companies, Kerkman Brothers and Thueman Well.

Number of employees (by shift): 12

Hours of Operation: M-TH 8:30am-6:00pm F 8:30am-5:00pm Sat 9:00am-3:00pm

Any outdoor entertainment? If so, please explain: No

Any outdoor storage? If so, please explain: Yes. Secure outdoor RV storage

Zoning district of the property: B-3 Highway Business District (pending rezone approval from A-2 General Agricultural District)

(g) Attach a plat of survey prepared by a land surveyor registered by the State of Wisconsin or site plan drawn to scale and approved by the Department of Planning and Development showing all of the information required under section 12.05-1(h)3 for a zoning permit. In addition, the plat of survey or site plan layout shall show the location, elevation and use of any abutting lands and the location and foundation elevations of structures within 50 feet of the subject site; soil mapping unit lines; ordinary high water mark, historic high water marks and floodlands on or within 50 feet of the subject premises, and existing and proposed landscaping.

CONDITIONAL USE PERMIT APPLICATION

For conditional use permit applications that are made within shoreland and floodland areas, such description shall also include information that is necessary for the County Planning, Development & Extension Education Committee to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human, animal or aquatic life. This additional information may include plans, certified by a registered professional engineer or land surveyor, showing existing and proposed elevations or contours of the ground; fill or storage elevation; basement and first floor elevations of structures; size, location, and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets water supply and sanitary facilities; aerial photographs, and photographs showing existing surrounding land uses and vegetation upstream and downstream; soil types and any other pertinent information required by either the Planning, Development & Extension Education Committee or the Office of Planning and Zoning Administration:

(h) The Kenosha County Department of Planning and Development may ask for additional information.

(i) The fee specified in Section 12.05-8 of this ordinance.

Request for Conditional Use Permit \$750.00

(For other fees see the Fee Schedule)

RECEIVED

JUN 23 2015

Kenosha County
Planning and Development

I am looking to put in 10 RV sites to be used as overnight service sites for service customers and our out of state sales customers. We sell all over the United States and Canada. Those customers drive in to pick up and are usually tired from a long trip. It is difficult and poor service on our part to walk them through there RV and send them down the road. Instead when they get here I would like to offer them to spend the night in there new RV then the next morning be able to answer further questions and address any concerns before they leave for a long journey home.

I would also use the sites to let prospective customers try a night to see if they are going to be comfortable in an RV before making a commitment to buy. This scenario would happen occasionally when we have some one that is simply unsure. Most of our guests are all in and excited to move forward.

Last The sites will be used for service customers. We do a lot of emergency repair for out of state guests that are on vacation. When parts are needed it usually takes 24 to 48 hrs for them to get here and the customer is out of luck except to go and try to find a hotel some where. It would be much better to plug them in and let them stay in there RV. At Burlington RV we offered these services and it enhanced the Rver's experience greatly.

I do not wish to have or run a campground.

The sites will be behind an earthen birm and out of view from hwy 50 and the dealership off the N.W. corner of our sales lot over looking the retention pond.

Thank you,

Mark Merkling, President
NEW GENERATION RV
5675 392nd Ave. (Hwy. 50)
Burlington, WI 53105
262-539-3600
www.newgenrv.com

PLAT OF SURVEY -OF-

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 31, TOWNSHIP 2 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN, LYING NORTH OF RECONSTRUCTED STATE TRUNK HIGHWAY "50" AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID SECTION 31; THENCE NORTH 00°39'27" WEST ALONG THE EAST LINE OF SAID SOUTHEAST 1/4 SECTION 806.13 FEET TO THE PLACE OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 69°07'19" WEST, ALONG THE NORTH LINE OF SAID STATE TRUNK HIGHWAY "50", 324.64 FEET; THENCE SOUTH 88°10'18" WEST ALONG SAID NORTH LINE 1021.45 FEET (RECORDED AS 1021.42 FEET) TO THE WEST LINE OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 31; THENCE NORTH 00°37'56" WEST ALONG SAID WEST LINE, 623.20 FEET TO THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 31; THENCE NORTH 88°13'01" EAST ALONG SAID NORTH LINE 1325.85 FEET TO THE EAST LINE OF SAID SOUTHEAST 1/4; THENCE SOUTH 00°39'27" EAST ALONG SAID EAST LINE 516.16 FEET TO THE PLACE OF BEGINNING. CONTAINING 18.58 ACRES OF LAND MORE OR LESS. SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE EAST 33 FEET THEREOF FOR HIGHWAY PURPOSES, (392ND AVENUE). SAID LANDS BEING IN THE TOWNSHIP OF WHEATLAND, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

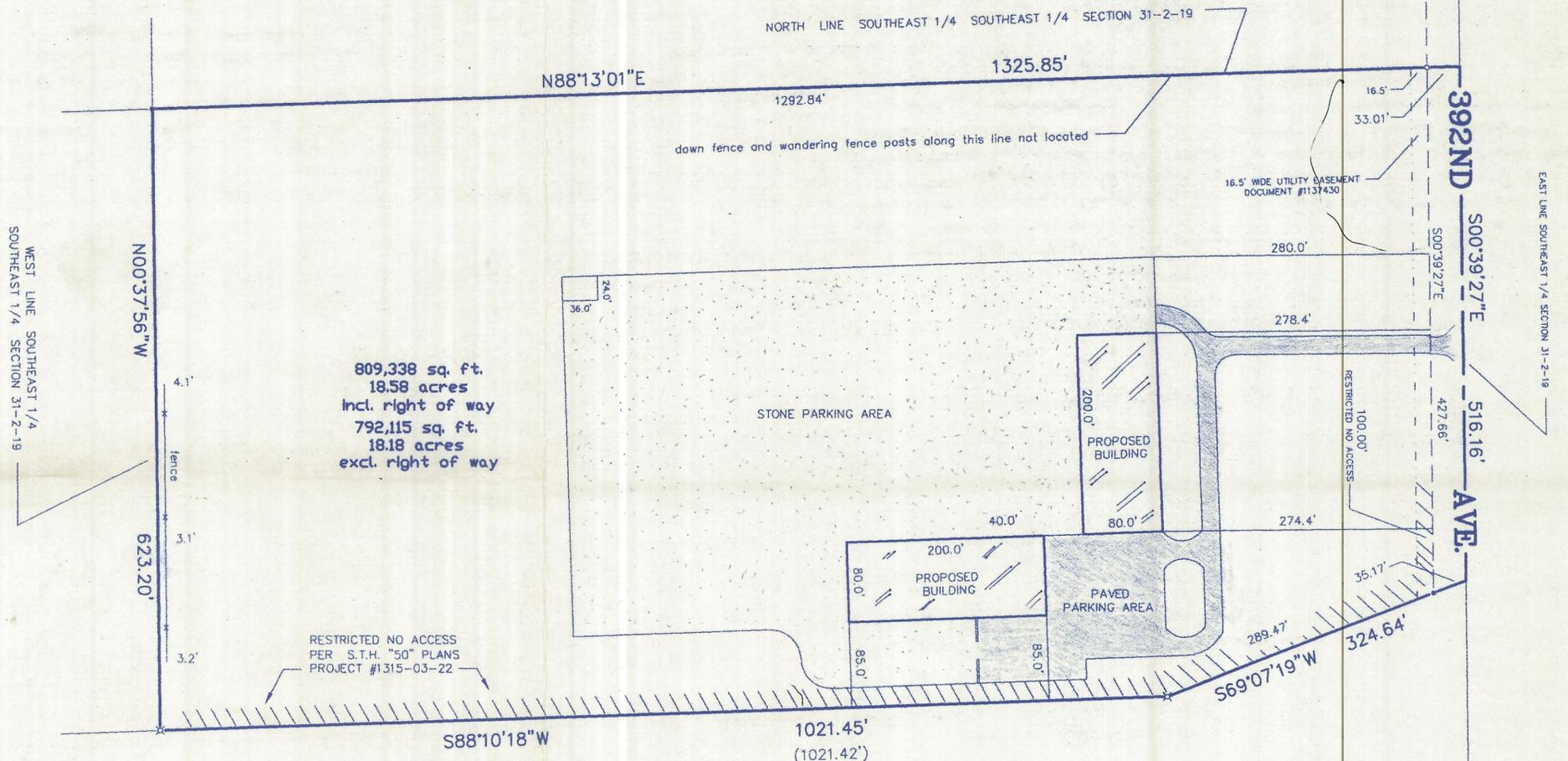
SURVEY FOR: NEW GENERATION RV (MARK MERKLING)

NOTE: REVISED SURVEY TO SHOW PROPOSED BUILDINGS AND PARKING AREA, NO ADDITIONAL FIELD WORK WAS DONE AT THIS TIME. PROPOSED BUILDINGS AS SHOWN TO BE FIELD STAKED BY OTHERS PER ABOVE NAMED CLIENT.

NOTE:
VOLUME 929 PAGE 62, TELEPHONE
COMPANY EASEMENT, VAGUE IN
LOCATION AND CANNOT BE PLOTTED.

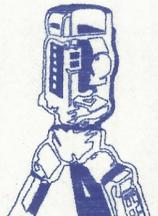
"I hereby certify that I have surveyed the above described property and that the above map is a correct representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadways and encroachments, if any."

"This survey is made for the use of the present owners of the property, and those who purchase, mortgage, or guarantee the title thereto within one year from date hereof."



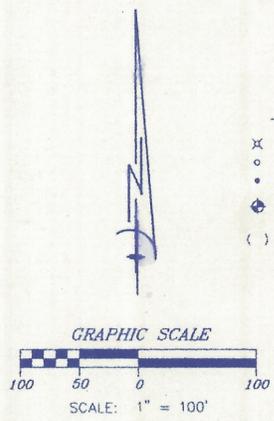
809,338 sq. ft.
18.58 acres
incl. right of way
792,115 sq. ft.
18.18 acres
excl. right of way

S.T.H. "50"



B.W. SURVEYING, INC.

412 N. PINE STREET
BURLINGTON, WI 53105
(262)-767-0225



- LEGEND**
- X FOUND IRON ROD
 - o FOUND IRON PIPE
 - SET IRON PIPE
 - ◆ FOUND CONCRETE MONUMENT WITH CAP
 - () RECORDED AS



THIS IS NOT AN ORIGINAL PRINT
UNLESS THIS SEAL IS RED.

Robert J. Wetzel
ROBERT J. WETZEL S-1778

REVISED: JUNE 4, 2015	
DRAWN BY: bw	REVISED: JANUARY 3, 2013
CHECKED BY: rw/dw	DATE: DECEMBER 21, 2012
JOB NO.: 8924	DRAWING NO.: 8924d1
	SHEET 1 OF 1

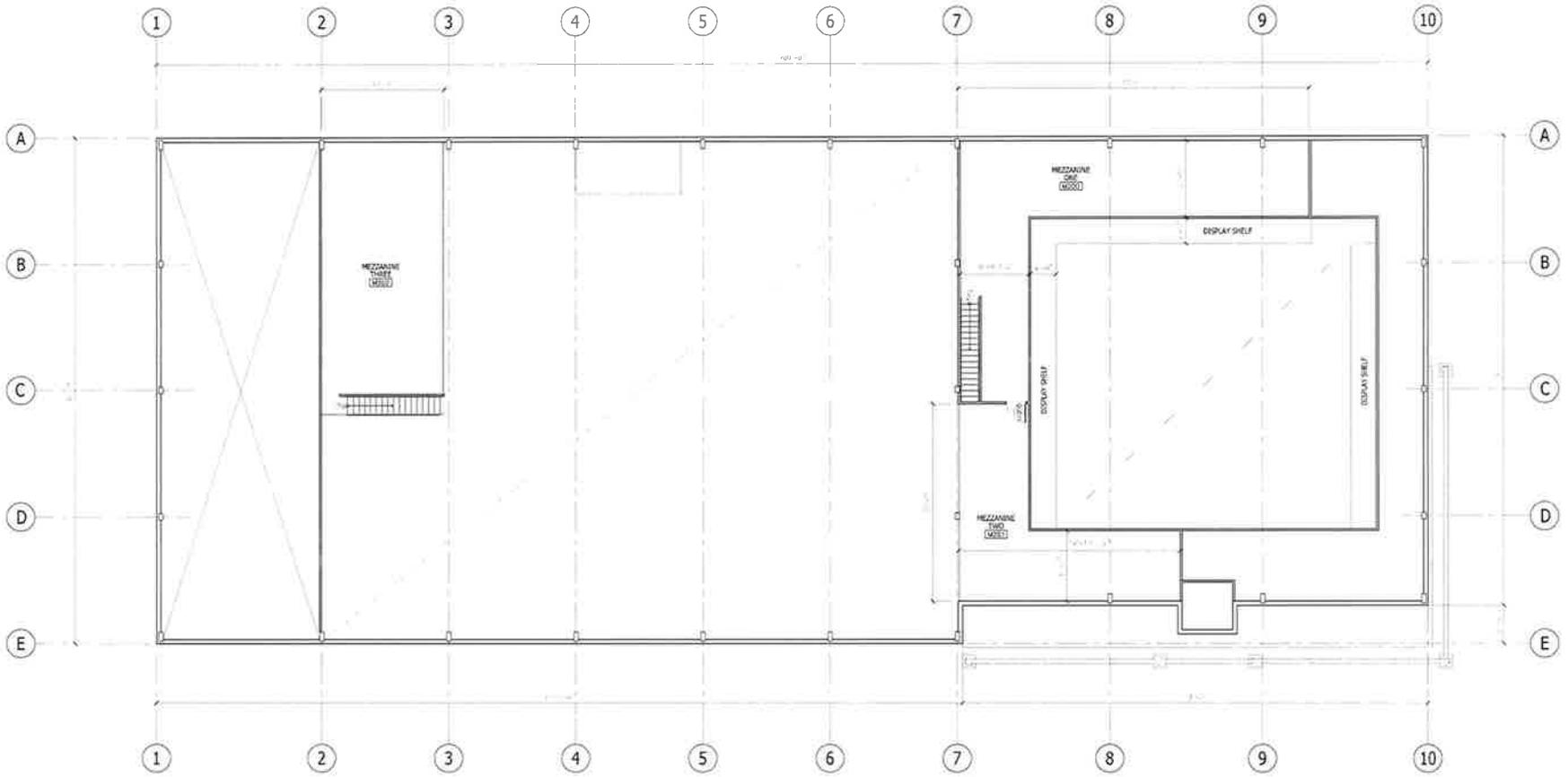












1 MEZZANINE LEVEL FLOOR PLAN

2,387 GROSS S.F.



PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION - OWNER REVIEW ONLY



BUSINESS & SERVICE
 BUILDING MEZ. FLOOR PLAN

SCALE: 1/8" = 1'-0"
 DRAWING NO: 24-05
 DATE: May 21, 2015
 SHEET NO.: A2

NEW GENERATION RV
 5675 392nd AVENUE (HIGHWAY 50)
 BURLINGTON, WISCONSIN 53105



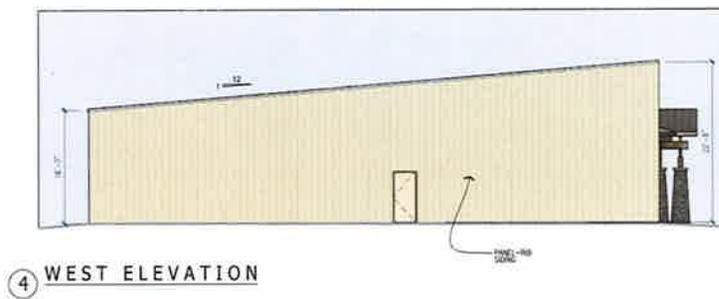
① SOUTH ELEVATION



② EAST ELEVATION



③ NORTH ELEVATION



④ WEST ELEVATION

PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION - OWNER REVIEW ONLY

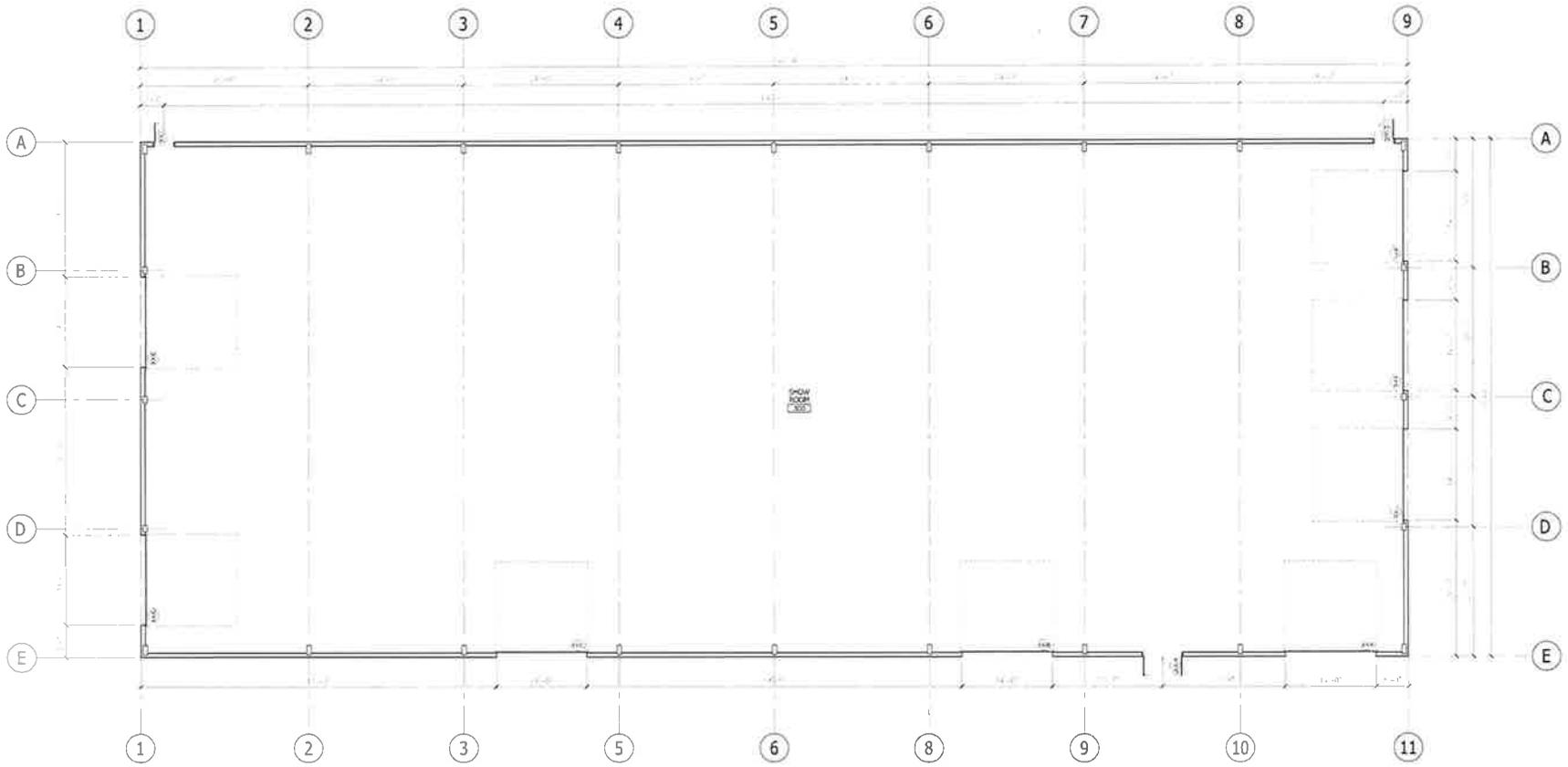
BUSINESS & SERVICE
BUILDING ELEVATIONS

NEW GENERATION RV
5675 392nd AVENUE (HIGHWAY 50)
BURLINGTON, WISCONSIN 53105

A3

SCALE: 1/4" = 1'-0"
DATE: 11/21/2018
DRAWN BY: J. J. JENSEN





1 MAIN LEVEL FLOOR PLAN

15,680 GROSS S.F.



PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION - OWNER REVIEW ONLY

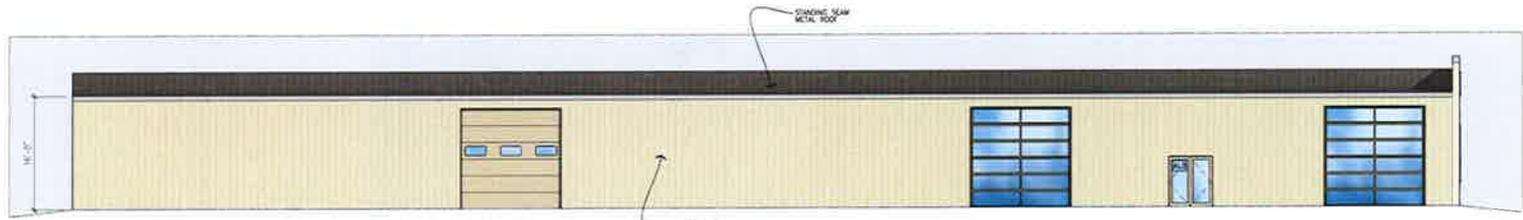
SHOWROOM BUILDING
FLOOR PLAN

A6

NEW GENERATION RV
5675 392nd AVENUE (HIGHWAY 50)
BURLINGTON, WISCONSIN 53105

DATE: 11/11/15
DRAWN BY: JLD
CHECKED BY: JLD
DATE: 11/11/15
PROJECT NO.: 15-001

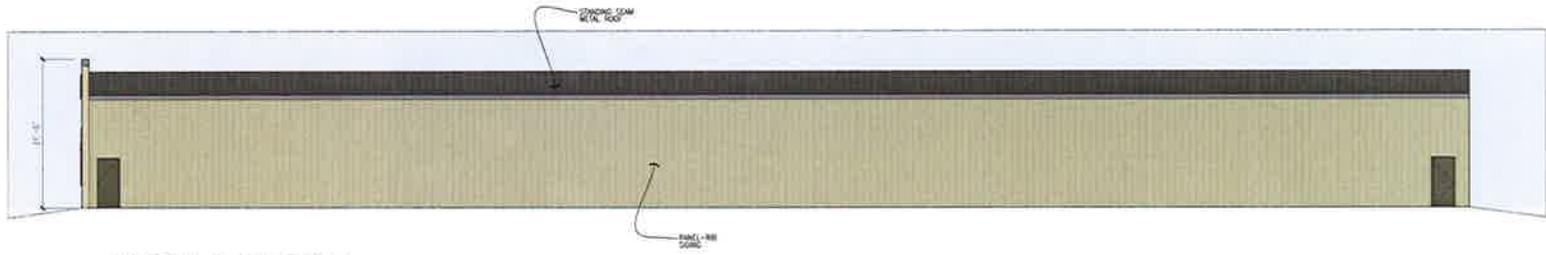




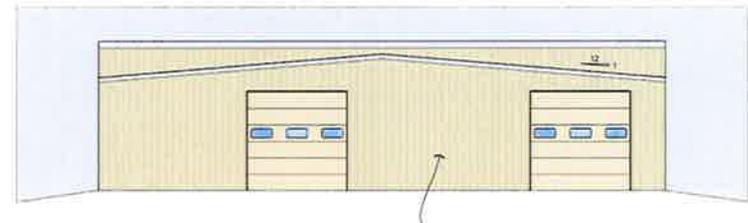
① SOUTH ELEVATION



② EAST ELEVATION



③ NORTH ELEVATION



④ WEST ELEVATION

PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION - OWNER REVIEW ONLY



NEW GENERATION RV
 5675 392nd AVENUE (HIGHWAY 50)
 BURLINGTON, WISCONSIN 53105

SCALE: 1/4" = 1'-0"
 DRAWN BY: JAC
 DATE: 01/24/24
 PROJECT: 24-01

SHOWROOM BUILDING
 ELEVATIONS

SHEET NUMBER
A7



KAPUR & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 7711 N. PORT WASHINGTON ROAD
 MILWAUKEE, WISCONSIN 53217
 Phone: 414.351.6688 Fax: 414.351.4117
 www.kapurengineers.com

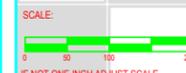
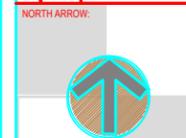
PROJECT:
**NEW GENERATION
 RV
 WETLAND
 DELINEATION**

LOCATION:
**TOWN OF
 WHEATLAND,
 KENOSHA CO., WI**



REVISIONS:

#	DATE	DESCRIPTION



IF NOT ONE INCH ADJUST SCALE ACCORDINGLY

SEAL:

we listen. we innovate.
 we turn your vision into reality.

SHEET:
WETLAND EXHIBIT

DESIGNED BY: _____
 DRAWN BY: _____ RJB
 CHECKED BY: _____
 APPROVED BY: _____ KMB
 PROJECT NUMBER: 15.0210.01

SHEET NUMBER:
1 of 1

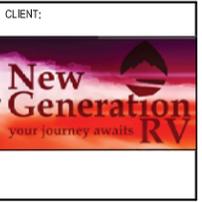


NOTE: AERIAL IMAGERY MAPPING IS NOT A DERIVED PRODUCT FROM KAPUR & ASSOCIATES. KAPUR DOES NOT WARRANTY ACCURACY OF AERIAL IMAGERY FROM STATE, COUNTY AND OTHER ON-LINE SOURCES. THE AERIAL IMAGE IS SIMPLY USED AS AN ENHANCEMENT OF THE SURVEY. SCALE OF AERIAL MAY NOT NECESSARILY ALIGN WITH ACTUAL OVERHEAD VIEW CONDITIONS IDENTIFIED IN THE FIELD AT TIME OF SITE VISIT(S).

LEGEND:
 = WETLAND BOUNDARY DELINEATED BY KAPUR & ASSOCIATES, INC. May 20, June 2, June 3 and June 9, 2015 for New Generation RV.
 = WETLAND SOIL SAMPLE
 = UPLAND SOIL SAMPLE
 = WETLAND BOUNDARY

PROJECT:
**NEWGENERATION
RV**

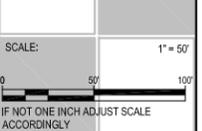
LOCATION:
TOWN OF
WHEATLAND,
KENOSHA COUNTY,
WI



PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION
###	###	###
###	###	###
###	###	###
###	###	###
###	###	###
###	###	###
###	###	###
###	###	###
###	###	###



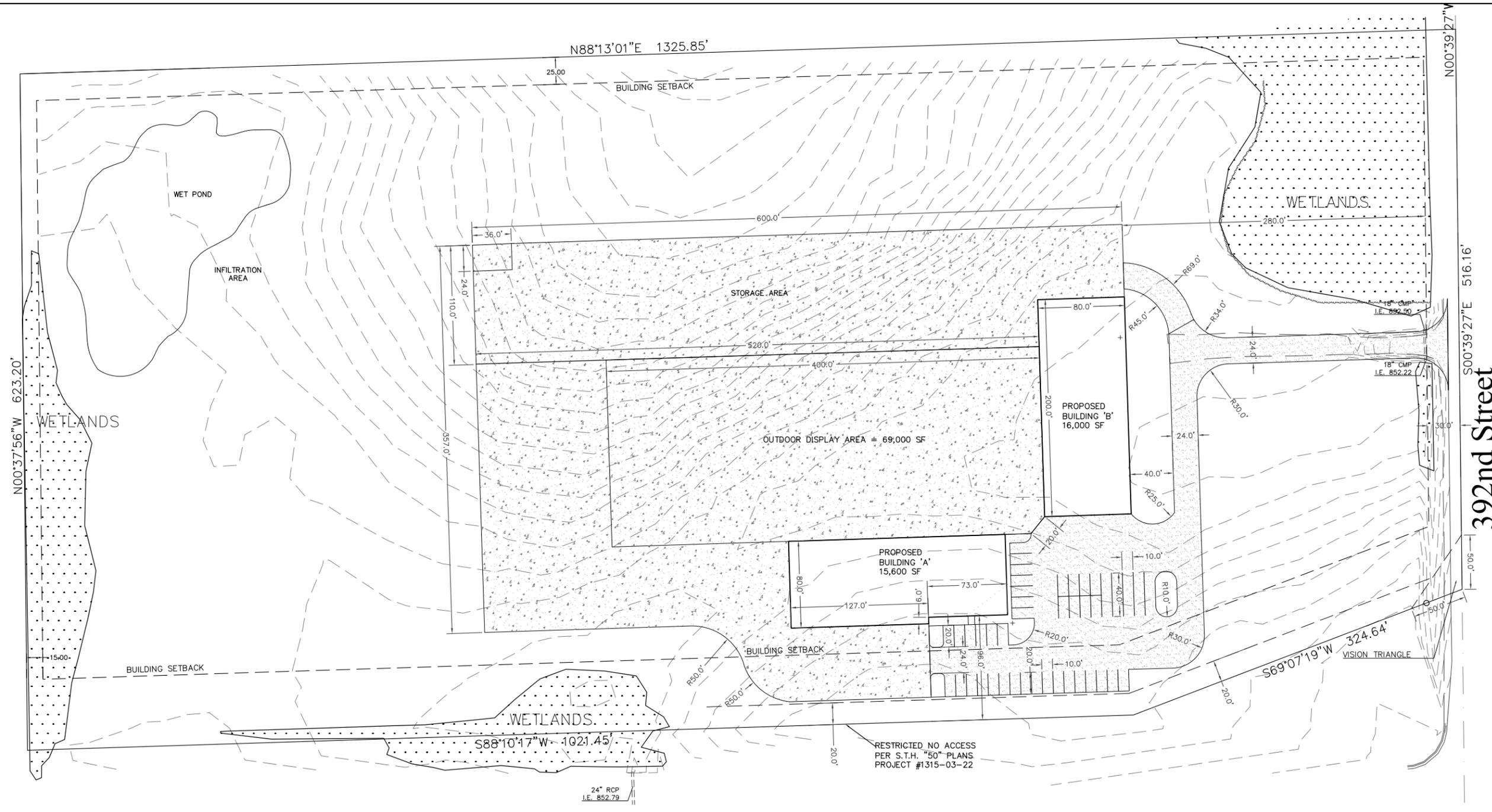
SEAL:

we listen, we innovate,
we turn your vision into reality.

SHEET:
SITE SURVEY

PROJECT MANAGER: GLG
PROJECT NUMBER: 150210
DATE: 5-29-2015

SHEET NUMBER:
S1



STH "50"

SITE DATA

MAXIMUM BLDG HEIGHT
35 FEET

ZONING B-3
HIGHWAY BUSINESS DISTRICT

SETBACKS (PER DECLARATION OF COVENANTS)
SIDE - 15 FEET
FRONT - 25 FEET
REAR - 25 FEET

PARKING REQUIREMENTS
INDUSTRIAL USE (B-3)
1 PER 600 SF OF NET ENCLOSED FLOOR AREA
1 PER 2000 SF OUTSIDE DISPLAY AREA

INDOOR: 6800 SF/600 = 12 PARKING SPACES
OUTDOOR: 68,870 SF/2000 = 35 PARKING SPACES
TOTAL: 54+32 = 47 PARKING SPACES REQUIRED TOTAL

ADA COMPLIANT PARKING
(1) VAN ACCESSIBLE WITH 96" AISLE
(1) CAR ACCESSIBLE WITH 60" AISLE

NOTES:
Parking Spaces shall be minimum of 20 feet from the established highway right-of-way and a minimum of 10 feet from all rear and side lot lines

Vehicle Spaces shall be 10' x 20' Minimum
24' Wide Aisle Widths, required

SITE PLAN LEGEND

-  NEW PAVEMENT
-  AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP).
-  PROJECT LIMITS

FILENAME: D:\Kenosha_Co\Wheatland_Town\Plan\150210_NewGen_RV\Design\150210_SITE_PLAN.dwg

CONDITIONAL USE SITE MAP

PETITIONER(S):

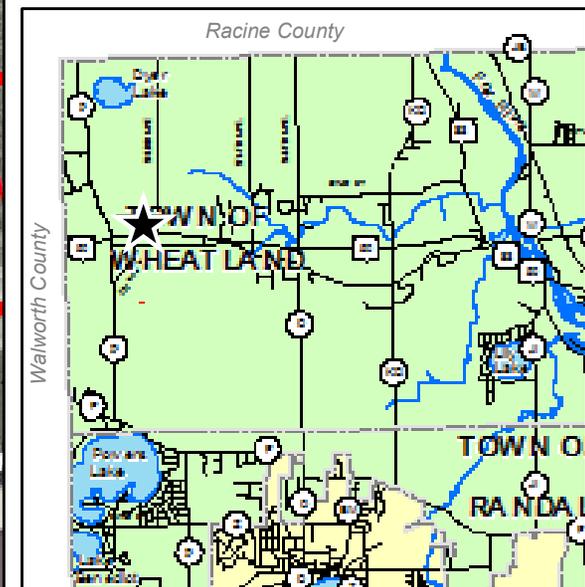
Action 50 LLC (Owner),
Mark Merkling (Agent)

LOCATION: SE 1/4 of Section 31,
Town of Wheatland

TAX PARCEL(S): #95-4-219-314-0640

REQUEST:

Requesting a Conditional Use Permit for Recreational Vehicle (RV) sales, service and outdoor display & storage in the B-3 Highway Business District.



1 INCH = 300 FEET

